



705 Kingston Road Pickering

Public Open House
18 March 2025

BDP.
Quadrangle

Biglieri

counterpoint
ENGINEERING
A SUBSIDIARY OF DILLON CONSULTING LIMITED

MHBC
PLANNING
URBAN DESIGN
& LANDSCAPE
ARCHITECTURE

BA Group

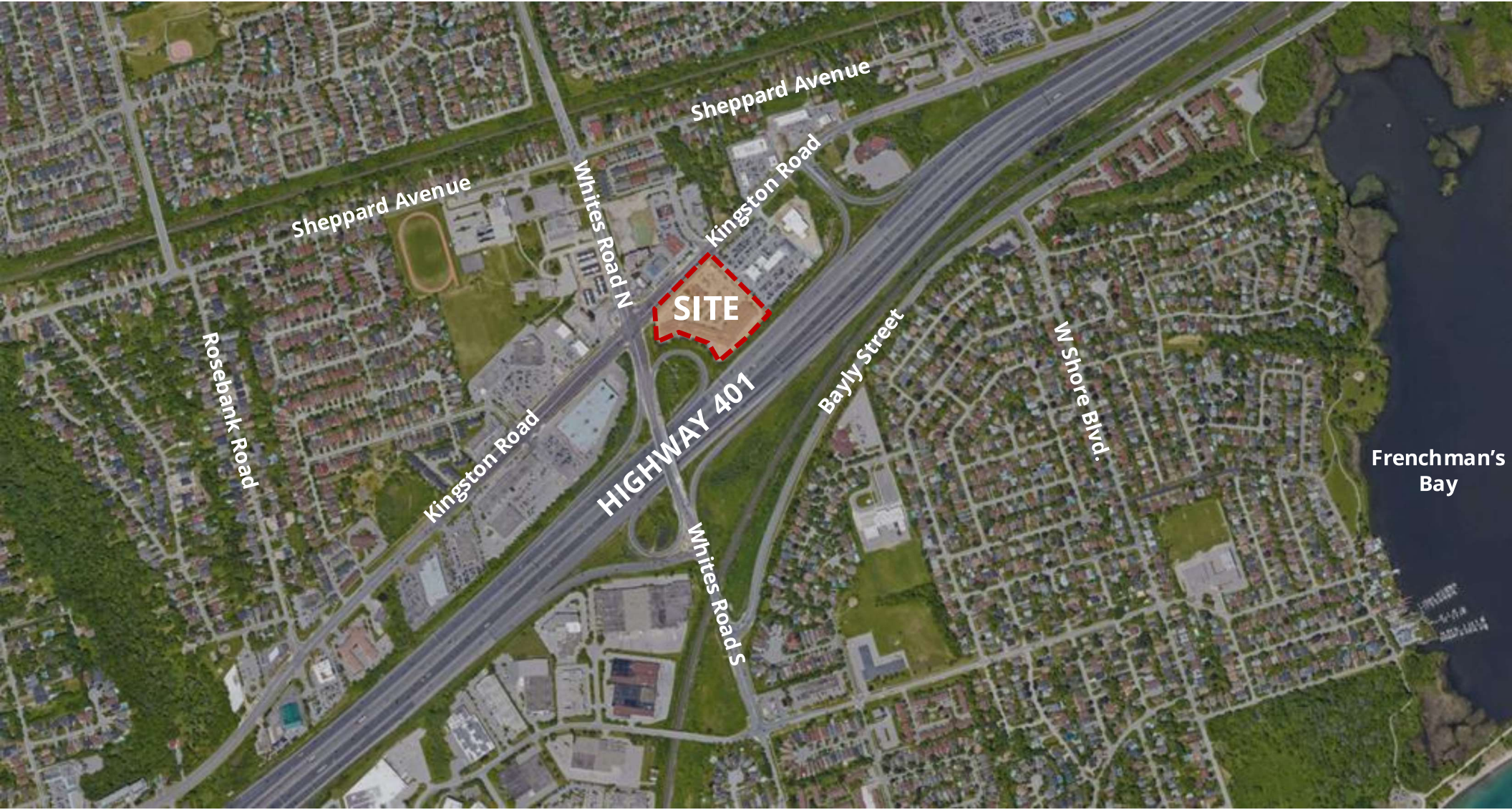
GROUND
ENGINEERING

NOBI
CONSULTING INC.

DILLON
CONSULTING

Resident

Context



Site Plan - Current



+/- 6,195sm / 66,700sf Existing Retail

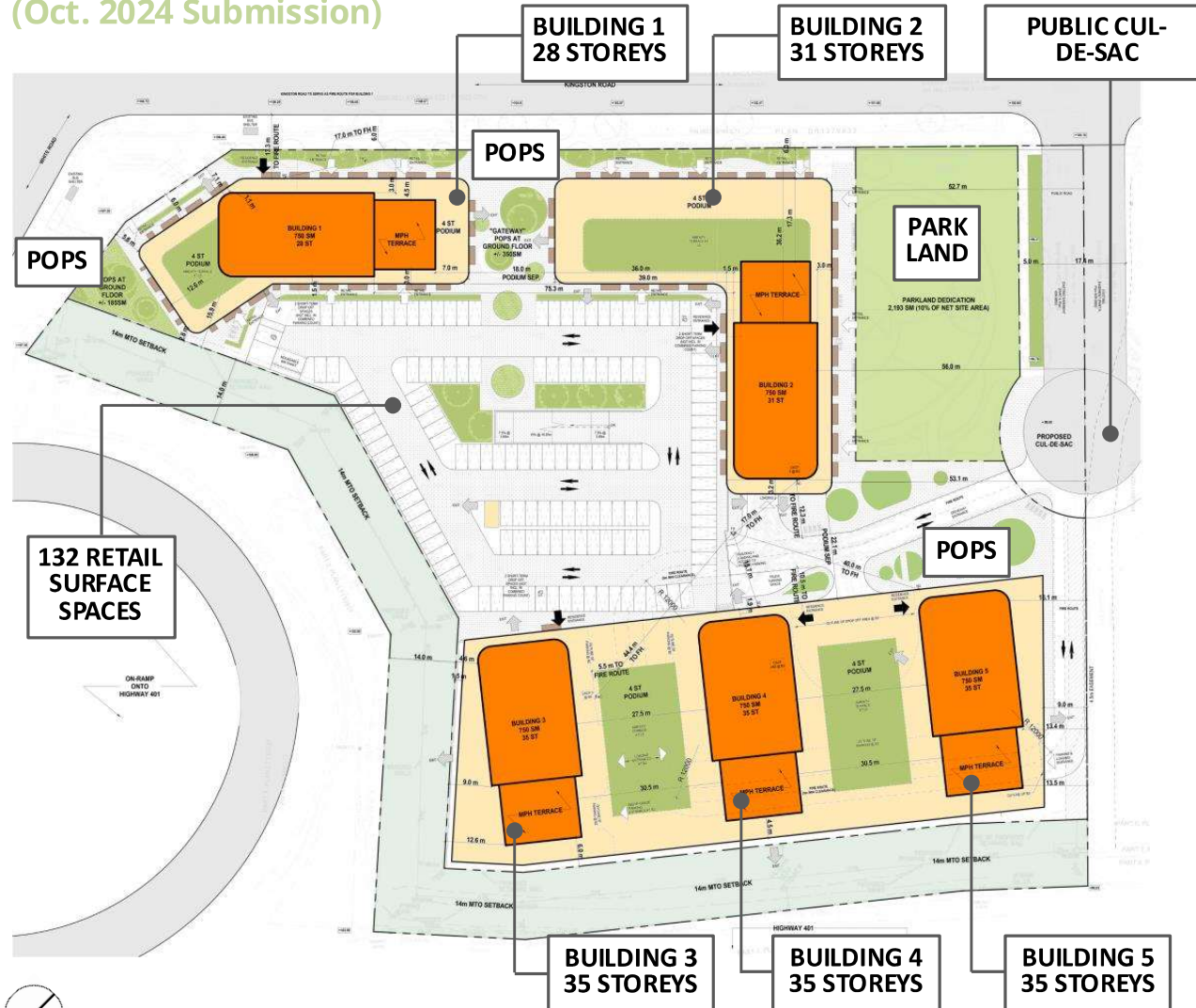


+/- 309 Retail Parking Spaces



Site Plan - Proposal

(Oct. 2024 Submission)



+/- 3,920sm / 42,200sf Retail



+/- 1,748 Residential Units



+/- 350 Combined Visitor & Retail Parking Spaces
 (B1, B2, Ground level surface parking)
 +/- 1,138 Long-Term Residential Parking Spaces
 (P1, B1, B2, 4 above-grade levels in Phase 2)

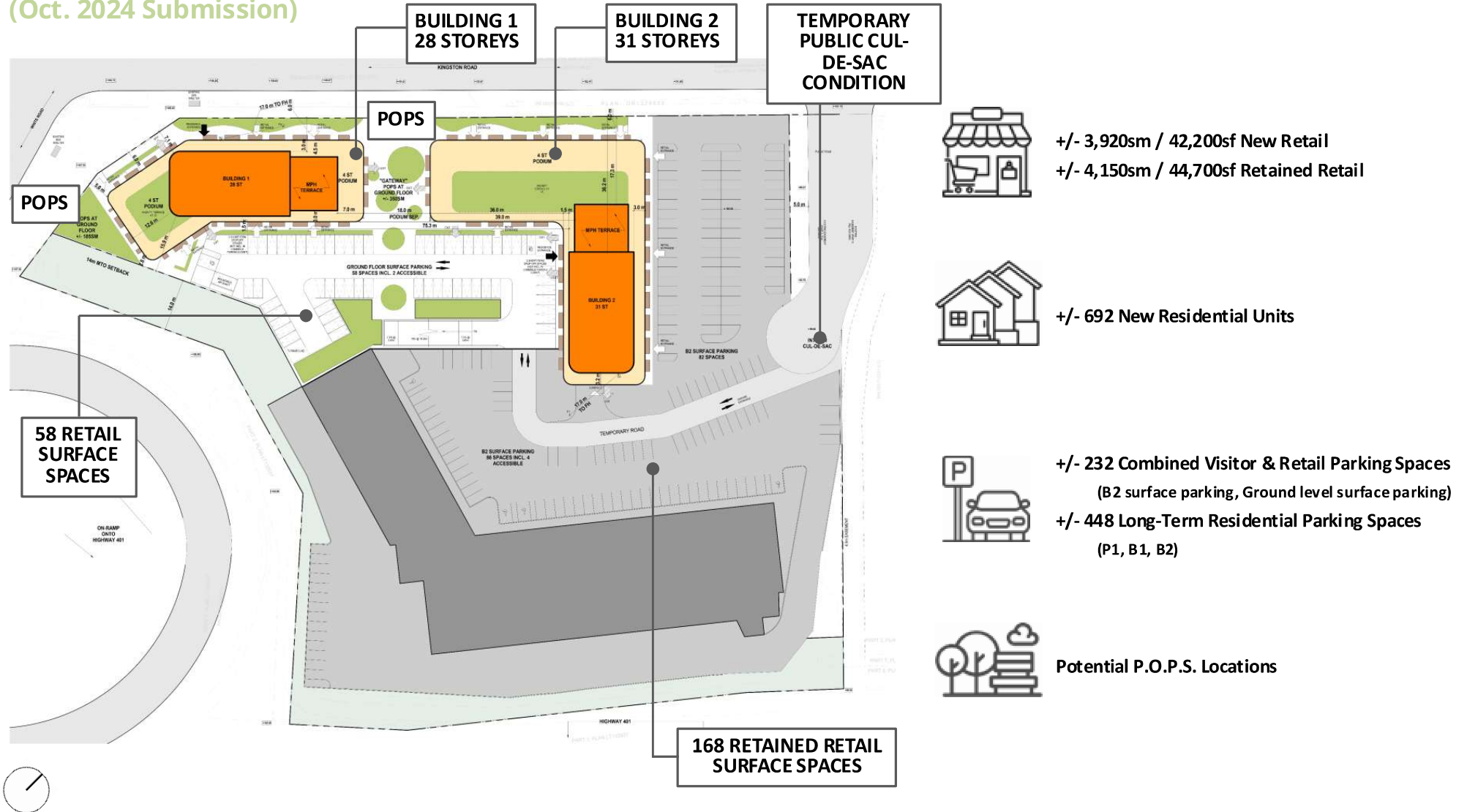


Parkland Dedication (10% of Site)
 Potential P.O.P.S. Locations

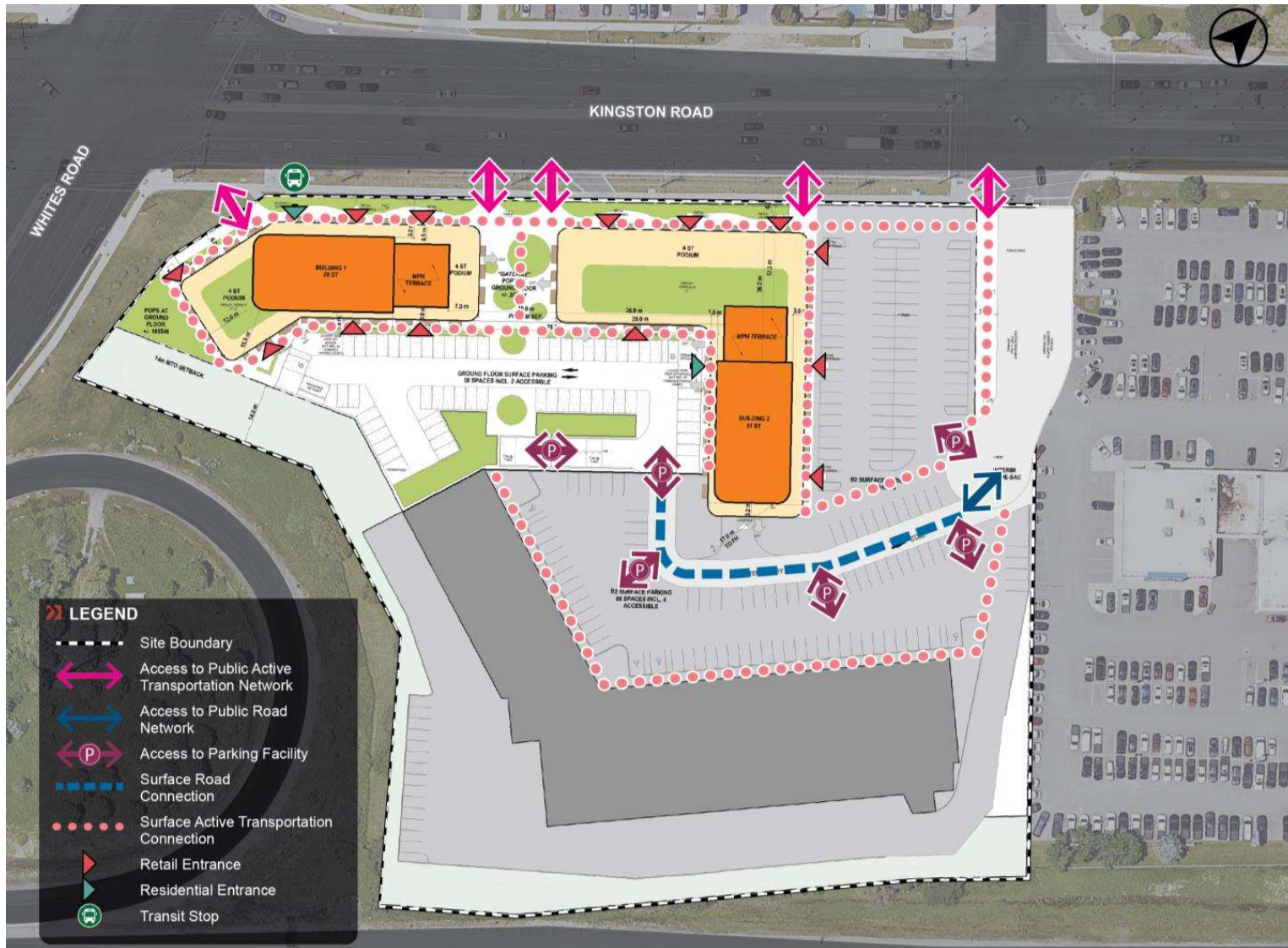


Site Plan - Phase 1 Condition

(Oct. 2024 Submission)



Traffic Circulation – Phase 1



Traffic Circulation – Ultimate Condition



Aerial View



Parkland Entrance



BUILDING 5
35 STOREYS

BUILDING 4
35 STOREYS

BUILDING 2
31 STOREYS

BUILDING 1
28 STOREYS

BUILDING 2
KINGSTON LEVEL RETAIL

PARKLAND LEVEL RETAIL

PARKLAND

KINGSTON ROAD

Pedestrian Gateway



Retail Locations

BUILDING 1 (Ground Floor), Corner of Kingston Road & Whites Road



Retail
 Residential Lobby
 Residential Units / Amenity

BUILDING 2 (B2 and Ground Floor), Corner of Kingston Road & New Park



Kingston Road









Kingston Road

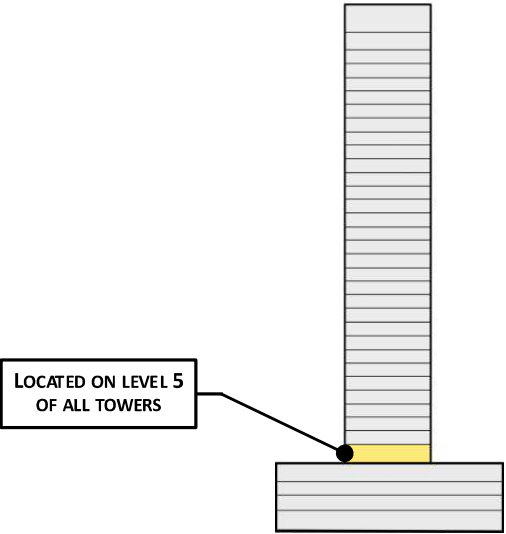
BUILDING 2 (Ground Floor), South side

Residential - Amenity Terrace

Amenity on L5



-  Indoor Residential Amenity
-  Outdoor Residential Amenity
-  Landscaping / Green Roof
-  Back-Of-House (Storage, Mechanical, Garbage, etc.)
-  Elevators
-  Stairs



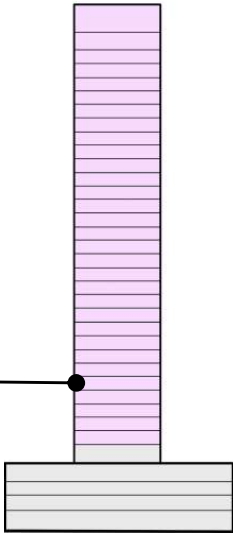
Residential – Tower Levels

Typical Tower Layouts (L6 - L28/31/25)



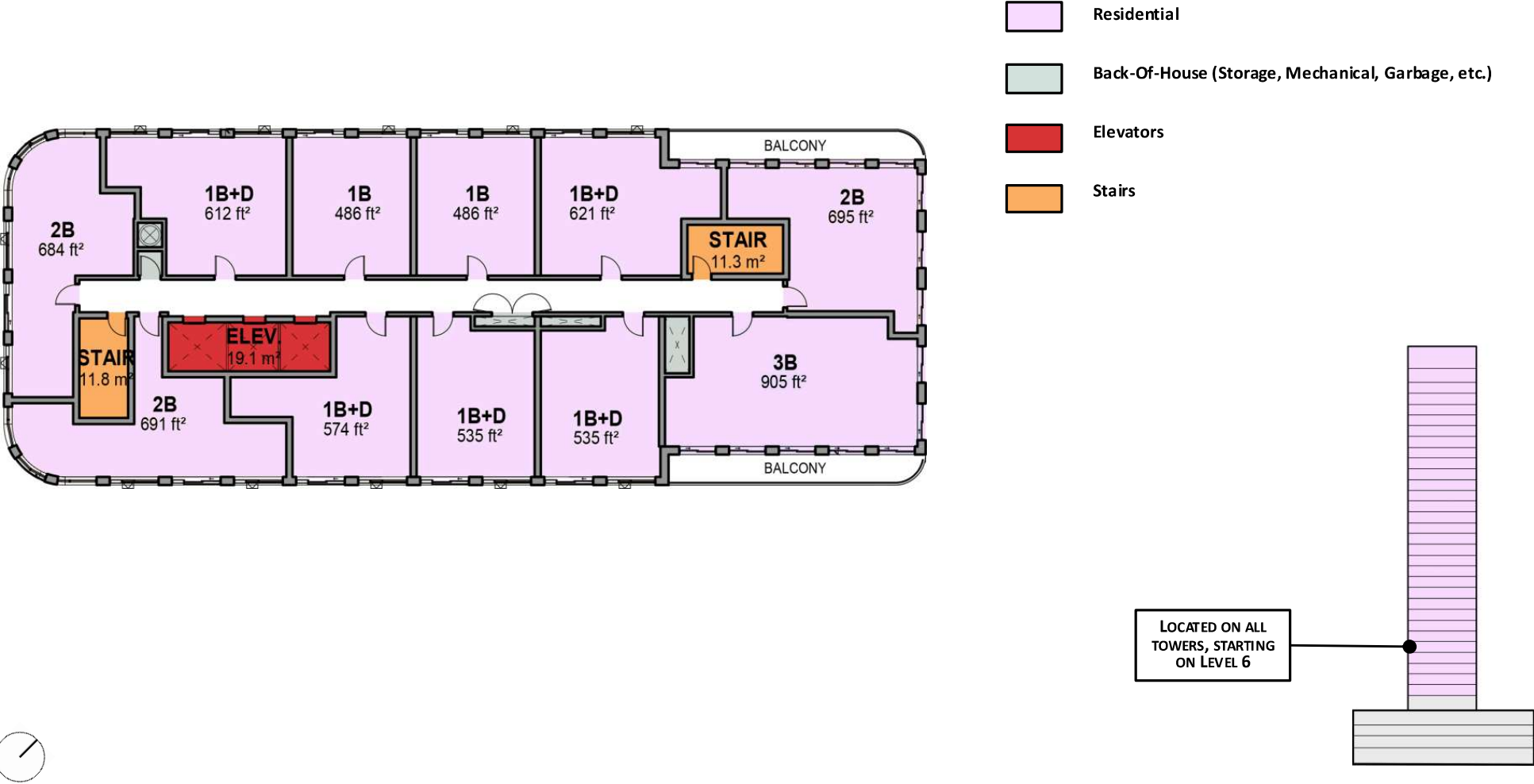
- Residential
- Back-Of-House (Storage, Mechanical, Garbage, etc.)
- Elevators
- Stairs

LOCATED ON ALL TOWERS, STARTING ON LEVEL 6



Residential – Tower Levels

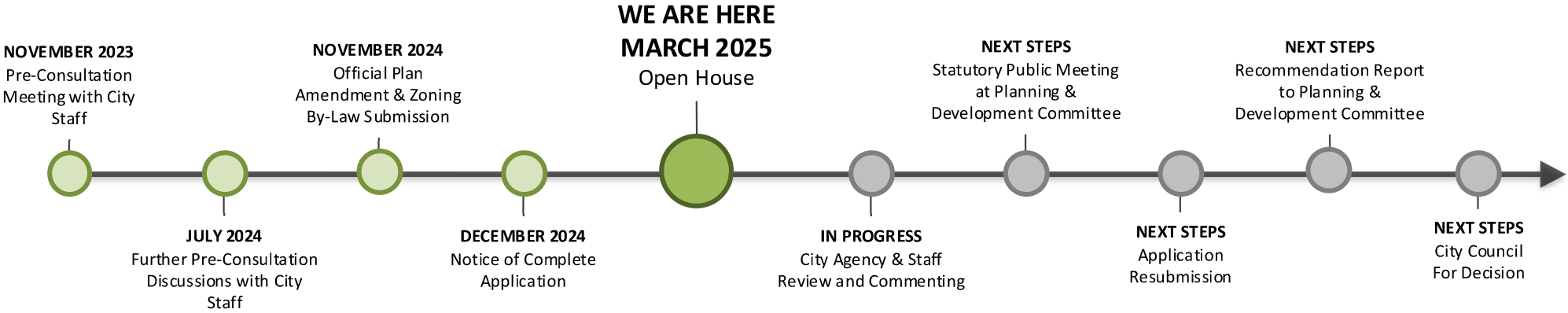
Example Typical Floor of Building 1



Planning and Urban Design Considerations

- The proposal calls for a mixed-use, complete-community along the Kingston Road corridor, in alignment with municipal policies for growth along the corridor;
- The proposed heights and densities align with policies aimed at creating a “Gateway” to the community at the intersection of Kingston Road and Whites Road;
- The proposal is supportive of planned active and public transportation infrastructure along Kingston Road;
- The parkland dedication is strategically positioned to be visible and accessible from Kingston Road providing community amenities to existing and future community members; and,
- The proposed POPS and landscape treatments along Kingston Road will improve connectivity and support the planned main-street character of this major artery.

Project Timeline



Thank You!

For more information, please visit
www.705kingston.com

Or scan the QR code below

