

COLD CELLAR  
5" R.F. CONC. SLAB OVER  
10M RODS @ 7 7/8" O.C.  
IN EACH DIRECTION WITH MIN. 1 1/4"  
COVER FROM BOTTOM OF SLAB  
(SEE WALL SECTION DETAIL)  
VENT TO OUTSIDE

BASEMENT PLAN

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

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AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

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No:      DATE:      WORK DESCRIPTION:

**PRELIMINARY**

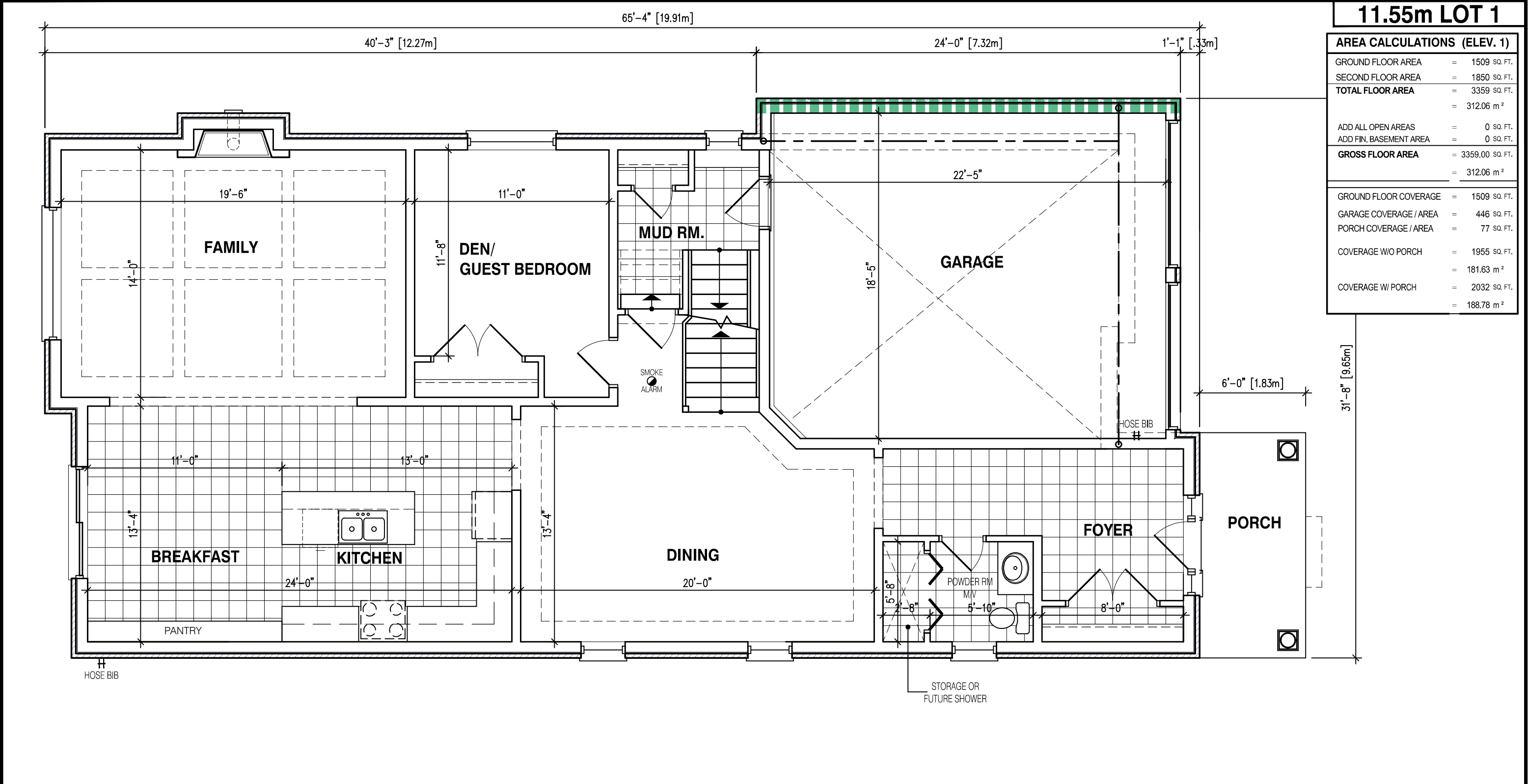
**jardin**  
DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

BASEMENT PLAN

MARVEL HOMES  
1794 APPLEVIEW ROAD (PICKERING)

**BILD**

MODEL SINGLE	SCALE: 3/16"=1'-0"
PROJ. No. 25-11	DWG. No. 1



FIRST FLOOR PLAN

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FIRST FLOOR PLAN

MARVEL HOMES  
1794 APPLEVIEW ROAD (PICKERING)

MODEL  
SINGLE

SCALE:  
3/16"=1'-0"

PROJ. No. 25-11

DWG. No. 2

**BILD**

11.55m LOT 2

AREA CALCULATIONS (ELEV. 2)

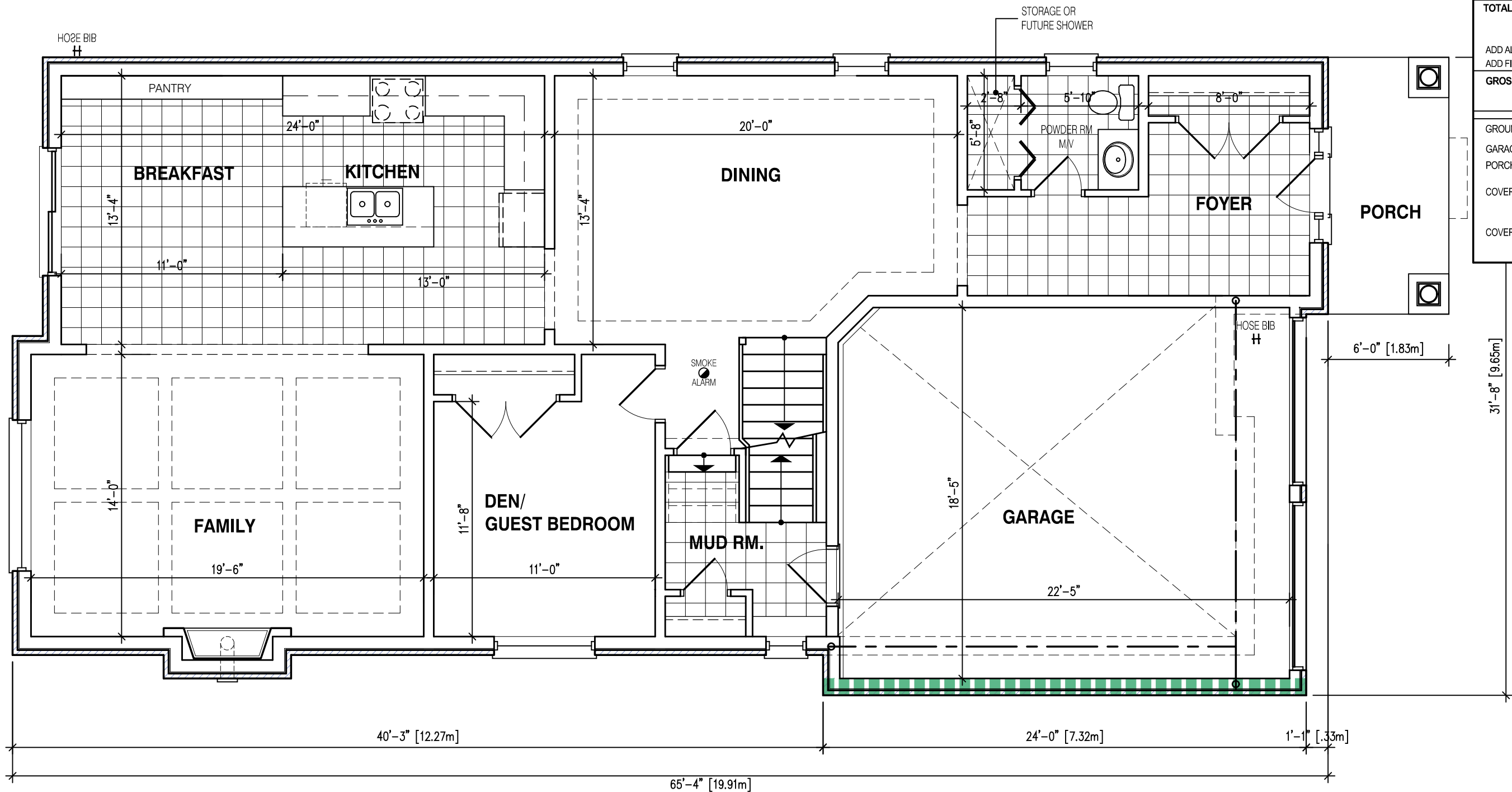
GROUND FLOOR AREA	=	1509 SQ. FT.
SECOND FLOOR AREA	=	1848 SQ. FT.
TOTAL FLOOR AREA	=	3357 SQ. FT.
	=	311.88 m <sup>2</sup>
ADD ALL OPEN AREAS	=	0 SQ. FT.
ADD FIN. BASEMENT AREA	=	0 SQ. FT.

GROSS FLOOR AREA	=	3357.00 SQ. FT.
	=	311.88 m <sup>2</sup>

GROUND FLOOR COVERAGE	=	1509 SQ. FT.
GARAGE COVERAGE / AREA	=	446 SQ. FT.
PORCH COVERAGE / AREA	=	77 SQ. FT.

COVERAGE W/O PORCH	=	1955 SQ. FT.
	=	181.63 m <sup>2</sup>

COVERAGE W/ PORCH	=	2032 SQ. FT.
	=	188.78 m <sup>2</sup>



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FIRST FLOOR PLAN

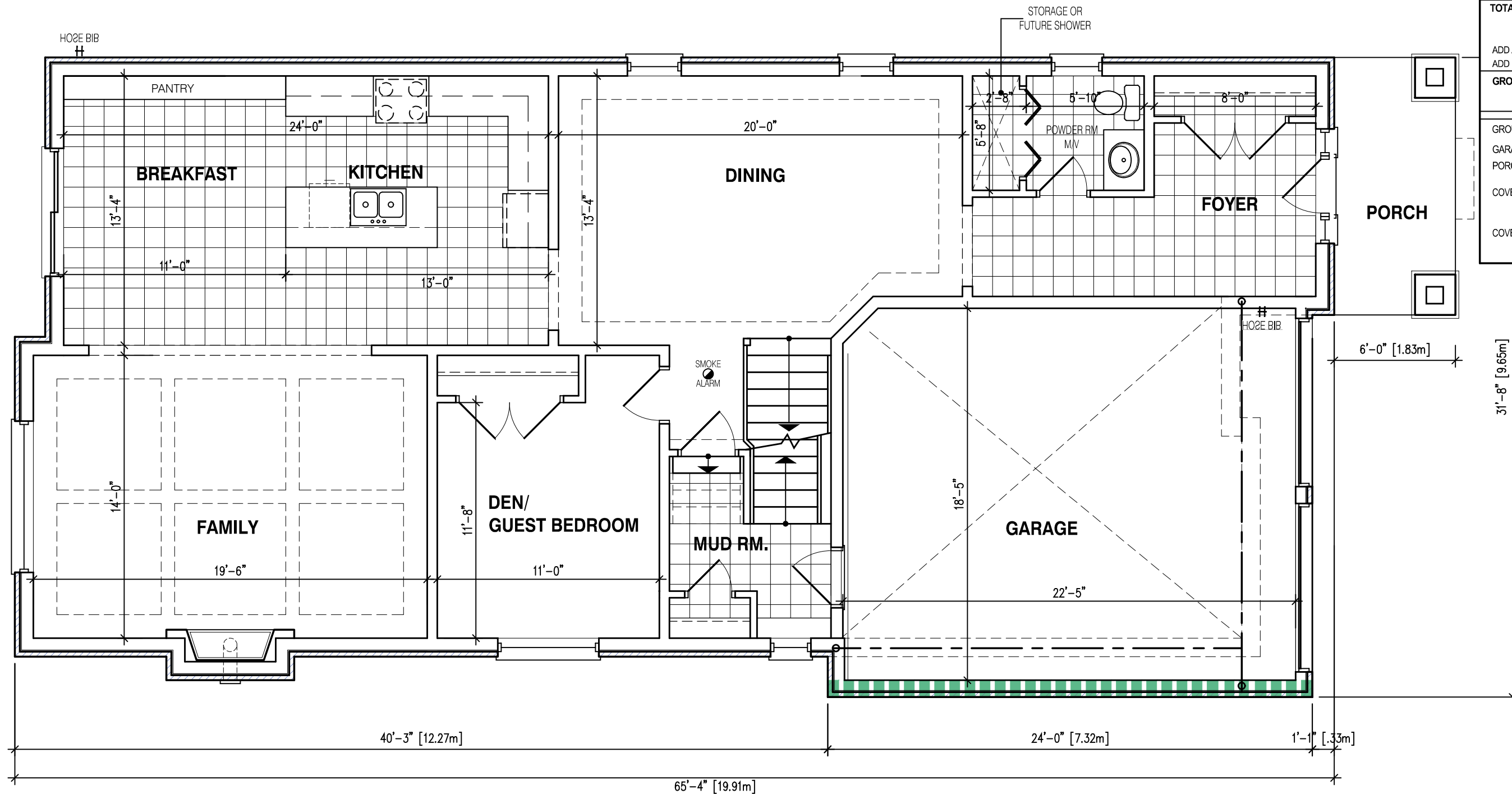
MARVEL HOMES  
1794 APPLEVIEW ROAD (PICKERING)



MODEL SINGLE
SCALE: 3/16"=1'-0"
PROJ. No. 25-11
DWG. No. 2A

11.55m LOT 3

AREA CALCULATIONS (ELEV. 3)	
GROUND FLOOR AREA	= 1509 SQ. FT.
SECOND FLOOR AREA	= 1855 SQ. FT.
TOTAL FLOOR AREA	= 3364 SQ. FT.
	= 312.53 m <sup>2</sup>
ADD ALL OPEN AREAS	= 0 SQ. FT.
ADD FIN. BASEMENT AREA	= 0 SQ. FT.
GROSS FLOOR AREA	= 3364.00 SQ. FT.
	= 312.53 m <sup>2</sup>
GROUND FLOOR COVERAGE	= 1509 SQ. FT.
GARAGE COVERAGE / AREA	= 446 SQ. FT.
PORCH COVERAGE / AREA	= 77 SQ. FT.
COVERAGE W/O PORCH	= 1955 SQ. FT.
	= 181.63 m <sup>2</sup>
COVERAGE W/ PORCH	= 2032 SQ. FT.
	= 188.78 m <sup>2</sup>



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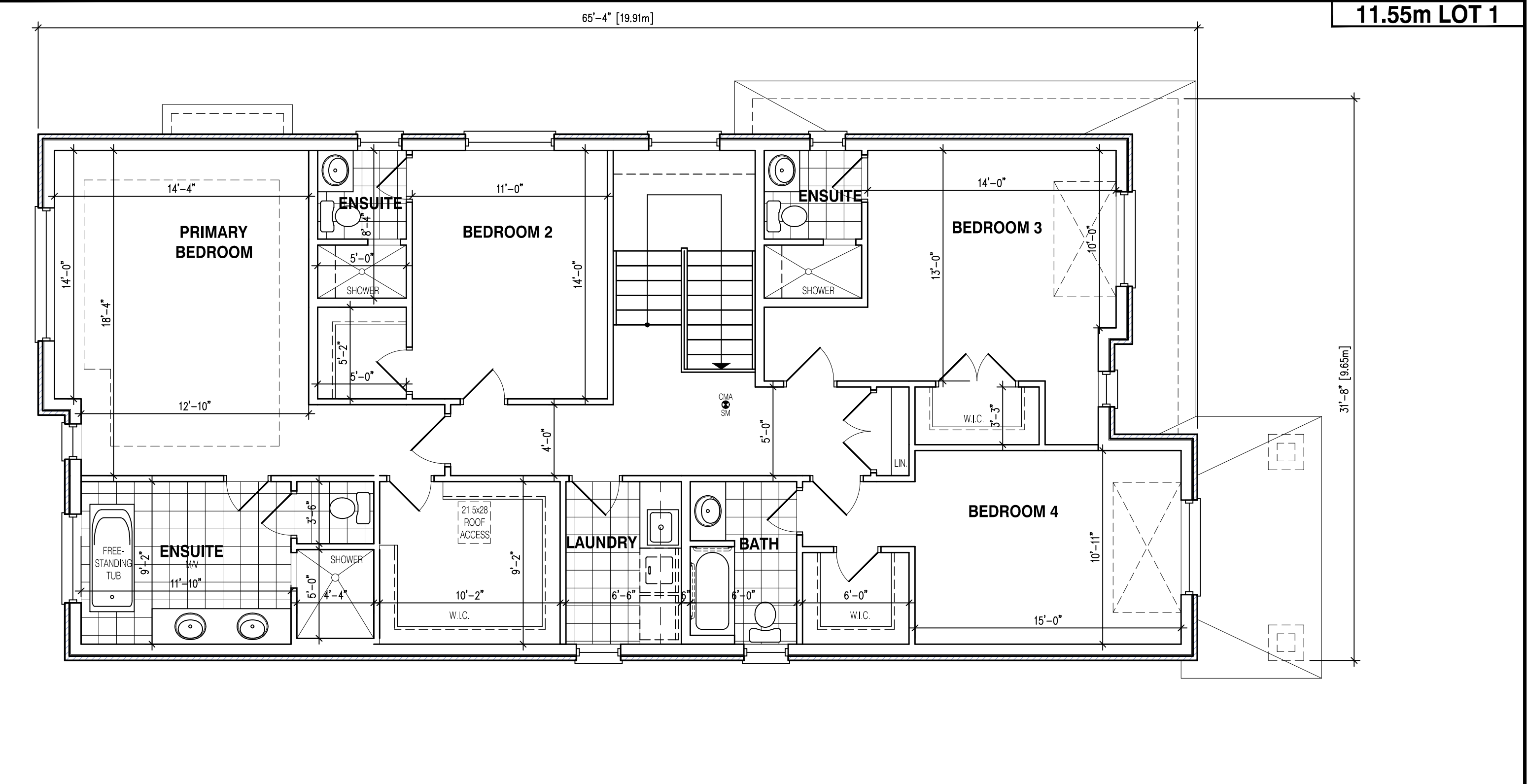
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FIRST FLOOR PLAN

MARVEL HOMES  
1794 APPLEVIEW ROAD (PICKERING)



MODEL SINGLE
SCALE: 3/16"=1'-0"
PROJ. No. 25-11
DWG. No. 2B



SECOND FLOOR PLAN

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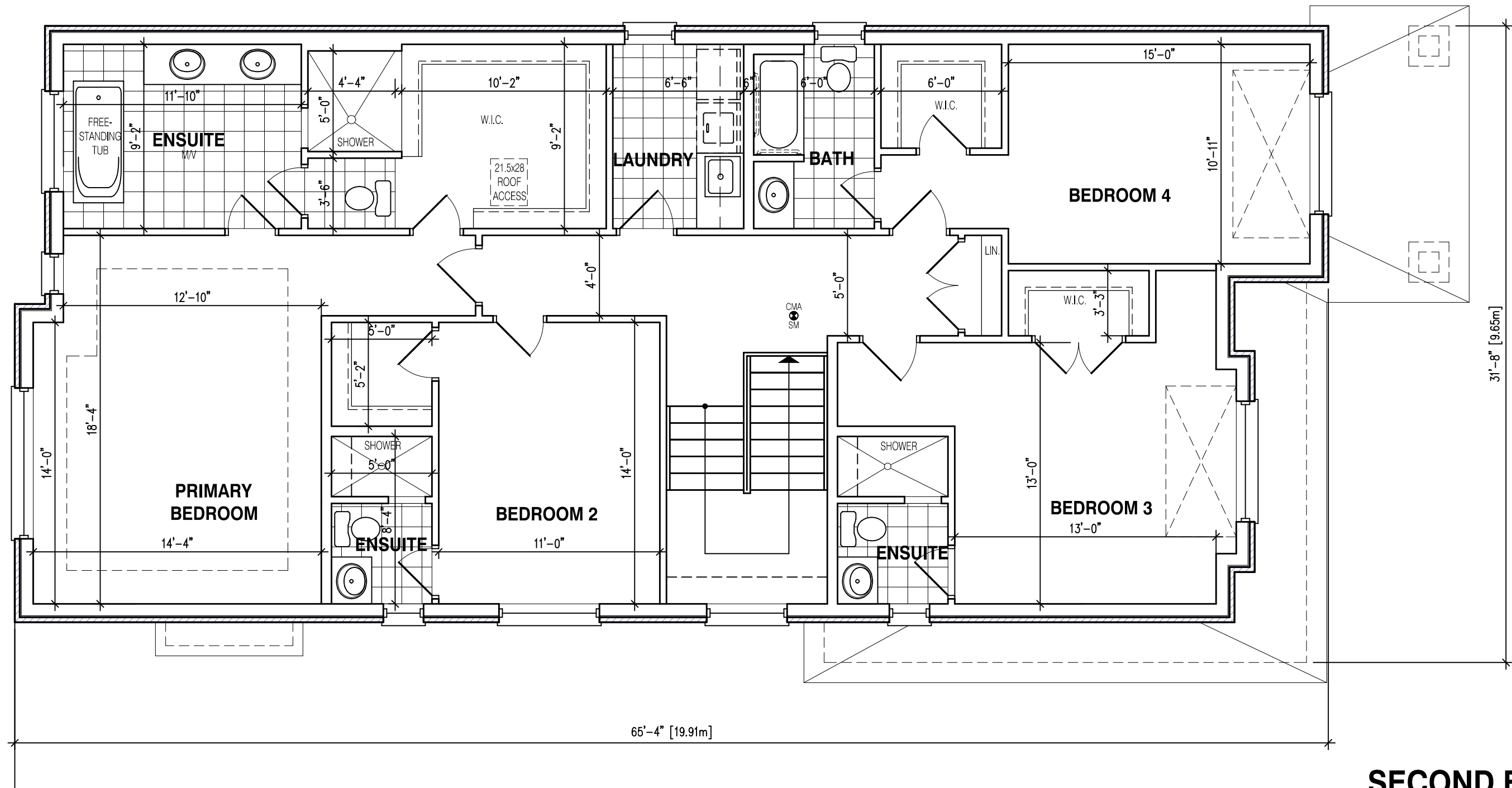
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SECOND FLOOR PLAN

MARVEL HOMES  
1794 APPLEVIEW ROAD (PICKERING)



MODEL SINGLE	
SCALE: 3/16"=1'-0"	
PROJ. No. 25-11	DWG. No. 3



## SECOND FLOOR PLAN

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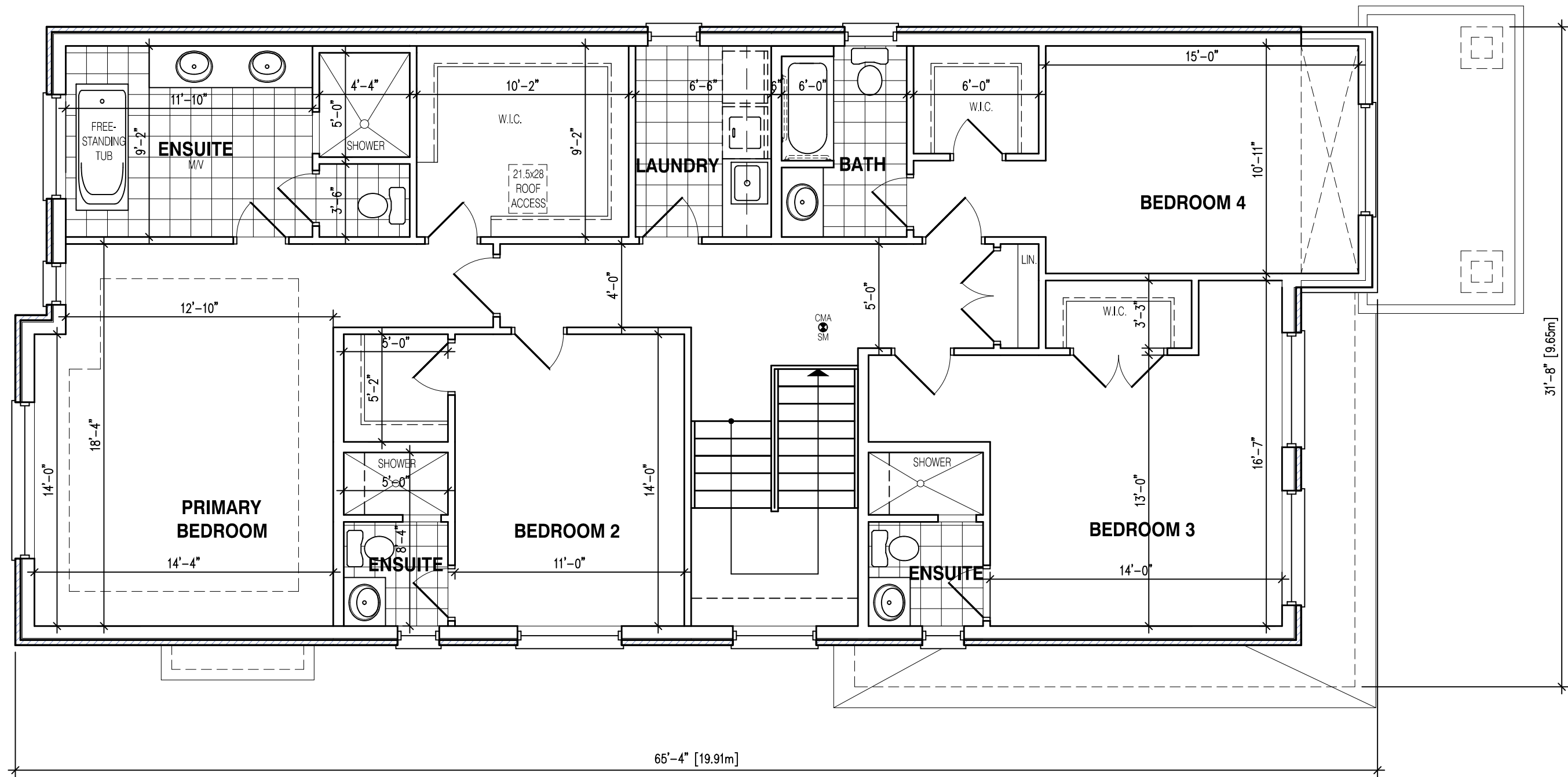
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1794 APPLEVIEW ROAD (PICKERING)



MODEL SINGLE
SCALE: 3/16"=1'-0"
PROJ. No. 25-11
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## SECOND FLOOR PLAN

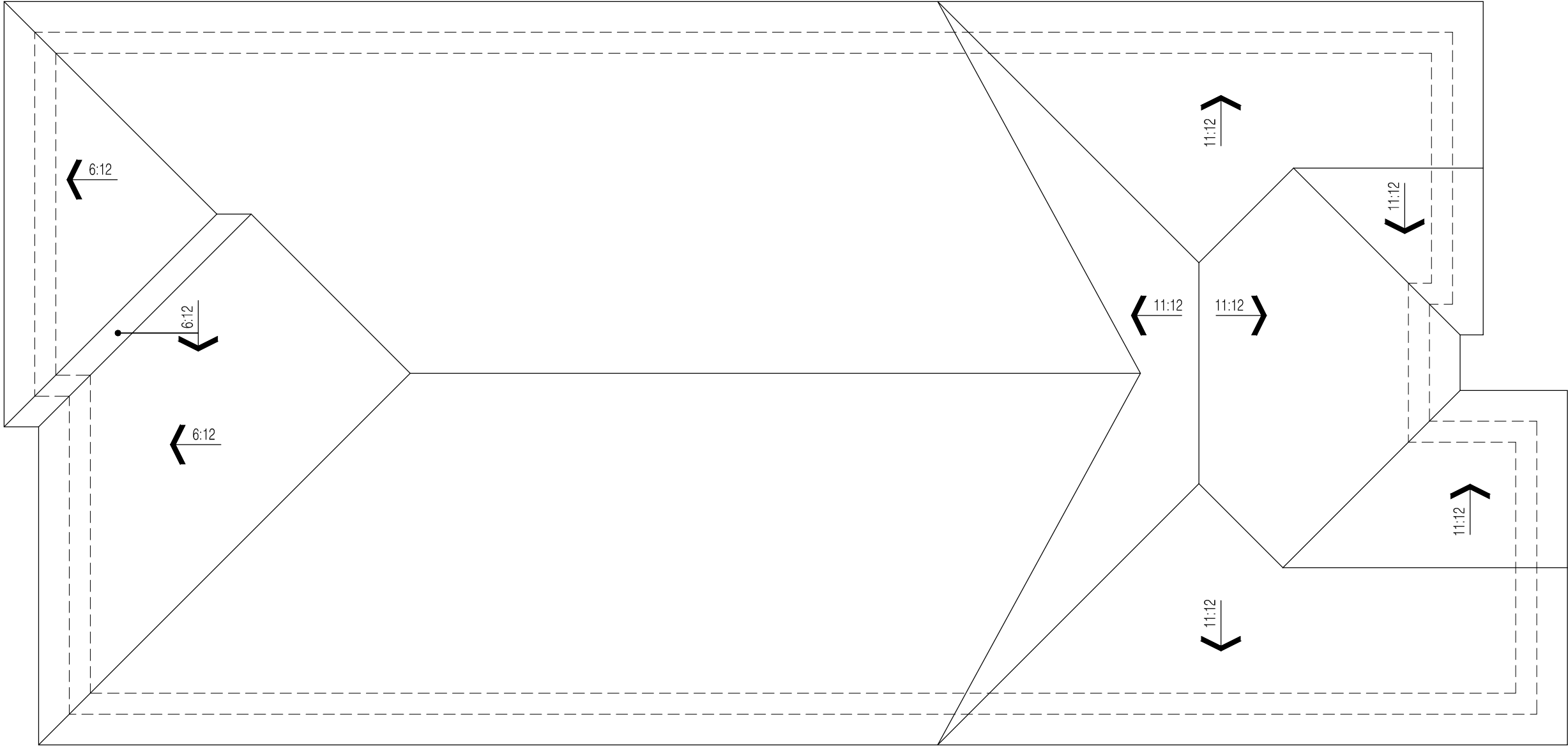
MARVEL HOMES  
1794 APPLEVIEW ROAD (PICKERING)



MODEL SINGLE
SCALE: 3/16"=1'-0"
PROJ. No. 25-11
DWG. No. 3B

11.55m LOT 1

NOTE:  
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ROOF TRUSS LAYOUT BY MANUFACTURER



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ROOF PLAN

MARVEL HOMES  
1794 APPLEVIEW ROAD (PICKERING)



MODEL  
SINGLE

SCALE:  
3/16"=1'-0"

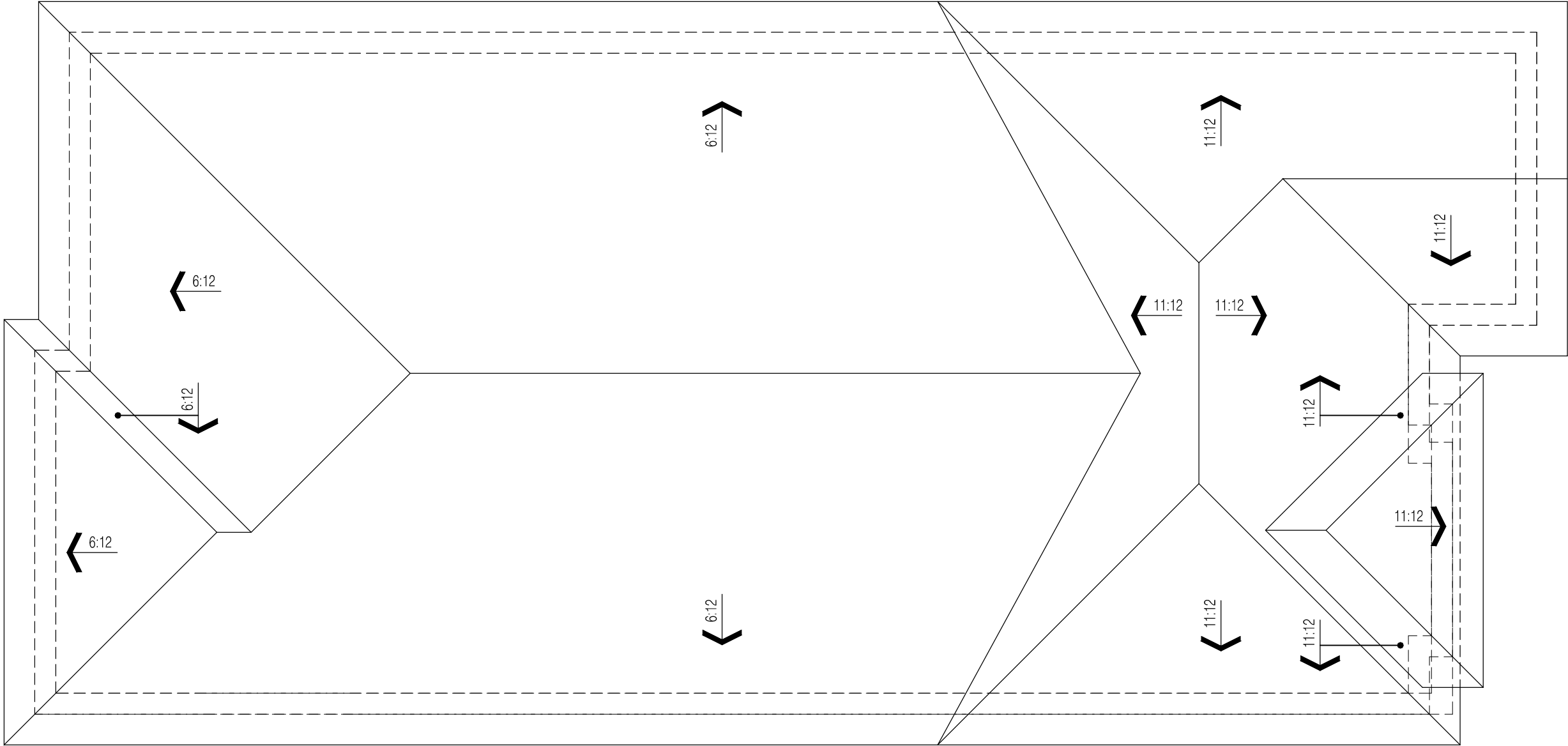
PROJ. No.  
25-11

DWG. No.  
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11.55m LOT 2

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ROOF PLAN

MARVEL HOMES  
1794 APPLEVIEW ROAD (PICKERING)



MODEL  
SINGLE

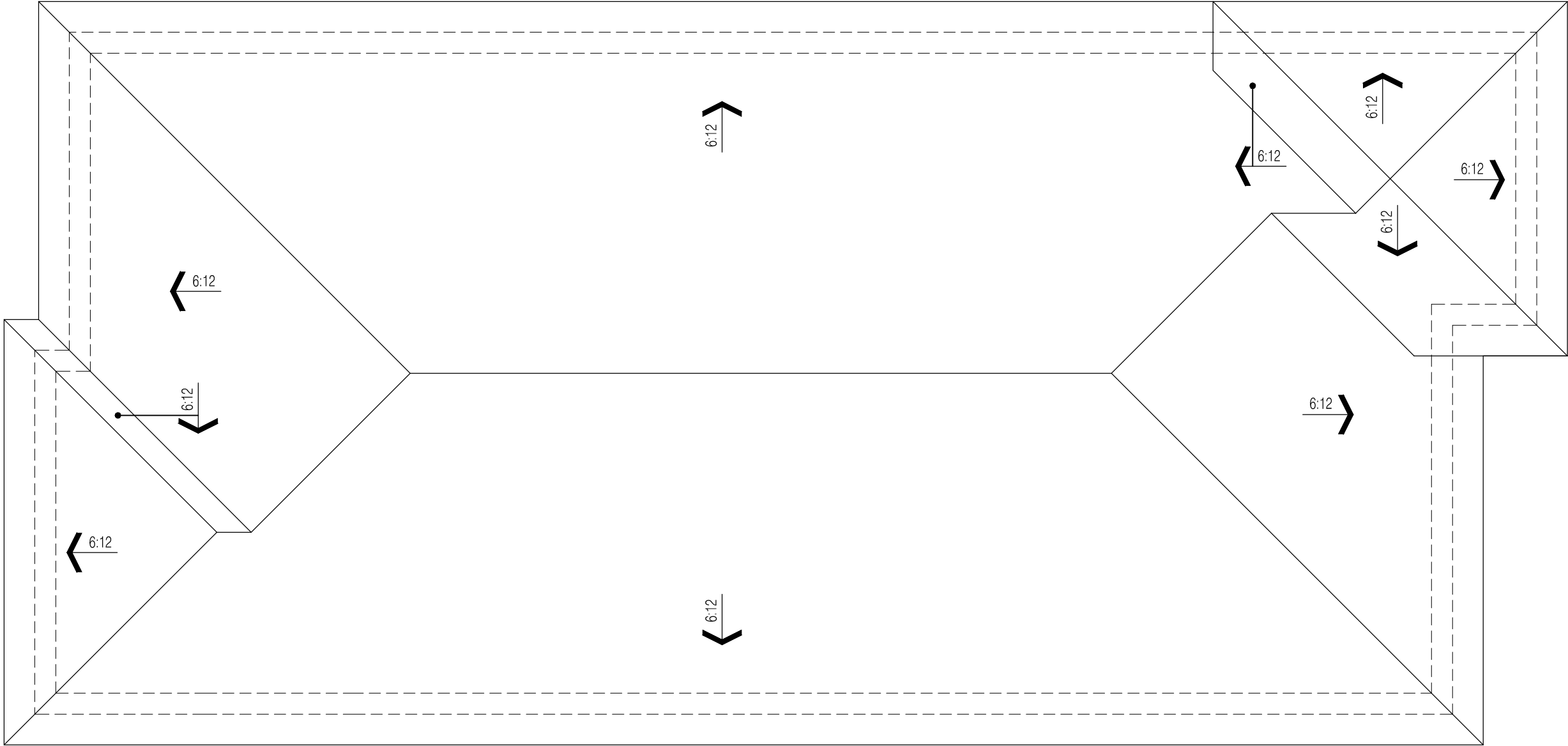
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3/16"=1'-0"

PROJ. No.  
25-11

DWG. No.  
4A

11.55m LOT 3

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ROOF PLAN

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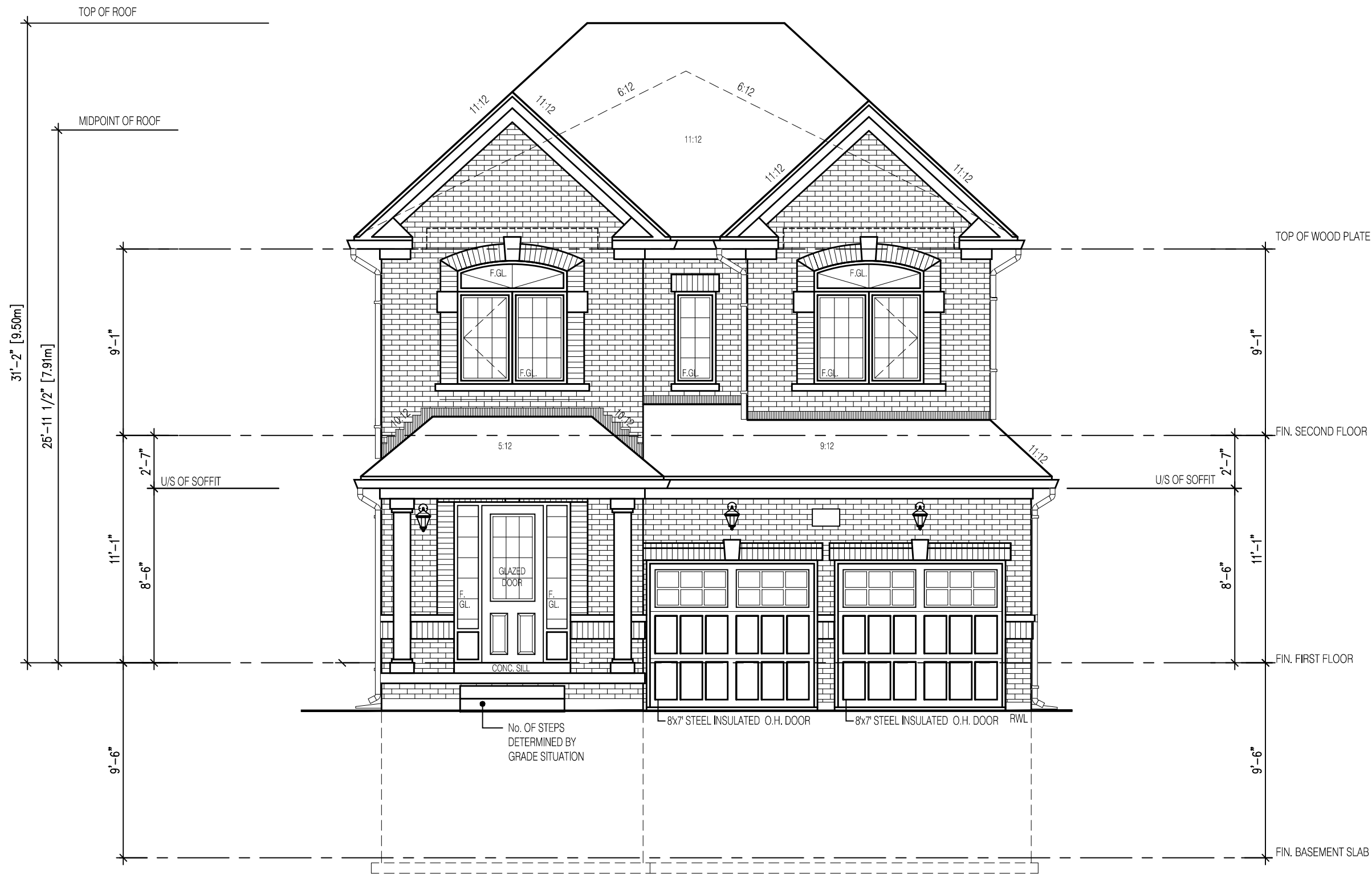


MODEL  
SINGLE

SCALE:  
3/16"=1'-0"

PROJ. No.  
25-11

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MODEL A -  
FRONT ELEVATION 1

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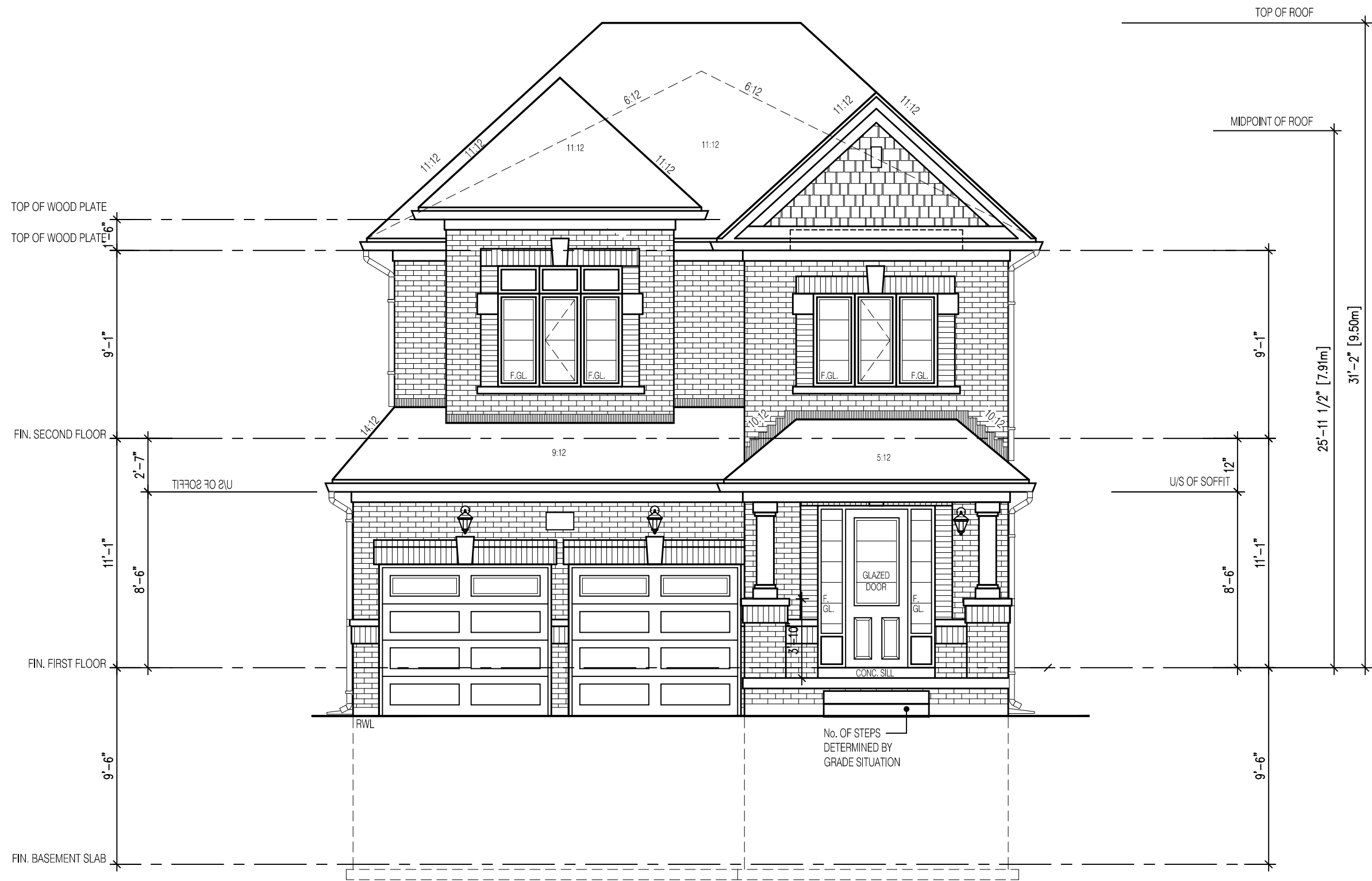
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FRONT ELEVATION

MARVEL HOMES  
1794 APPLEVIEW ROAD (PICKERING)



MODEL SINGLE	
SCALE: 3/16"=1'-0"	
PROJ. No. 25-11	DWG. No. 5



MODEL A -  
FRONT ELEVATION 2

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FRONT ELEVATION

MARVEL HOMES  
1794 APPLEVIEW ROAD (PICKERING)



MODEL SINGLE	
SCALE: 3/16" = 1'-0"	
PROJ. No. 25-11	DWG. No. 5A



MODEL A -  
FRONT ELEVATION 3

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DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

FRONT ELEVATION

MARVEL HOMES  
1794 APPLEVIEW ROAD (PICKERING)

**BILD**

MODEL SINGLE	DWG. No. 5B
SCALE: 3/16"=1'-0"	
PROJ. No. 25-11	




RIGHT SIDE ELEVATION 1

<div>THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.</div> <div>JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.</div> <div>AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.</div> <div>JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.</div> <div>THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.</div>	7		
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UNPROTECTED OPENINGS		
WALL AREA	1263.29	⌀
ALLOWABLE WINDOW AREA @ 7.0%(1.25m SIDEYARD)	88.43	⌀
ACTUAL GLAZED AREA	41.61	⌀

<div>jardin</div> <div>DESIGN GROUP INC</div> <div>64 JARDIN DR. SUITE 3A</div> <div>VAUGHAN ONT. L4K 3P3</div> <div>TEL: 905 660-3377 FAX: 905 660-3713</div> <div>EMAIL: info@jardindesign.ca</div>	
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RIGHT SIDE ELEVATION	
MARVEL HOMES	
1794 APPLEVIEW ROAD (PICKERING)	
<div><div>BILD®</div></div>	MODEL SINGLE
	SCALE: 3/16"=1'-0"
	PROJ. No. 25-11



RIGHT SIDE ELEVATION 2

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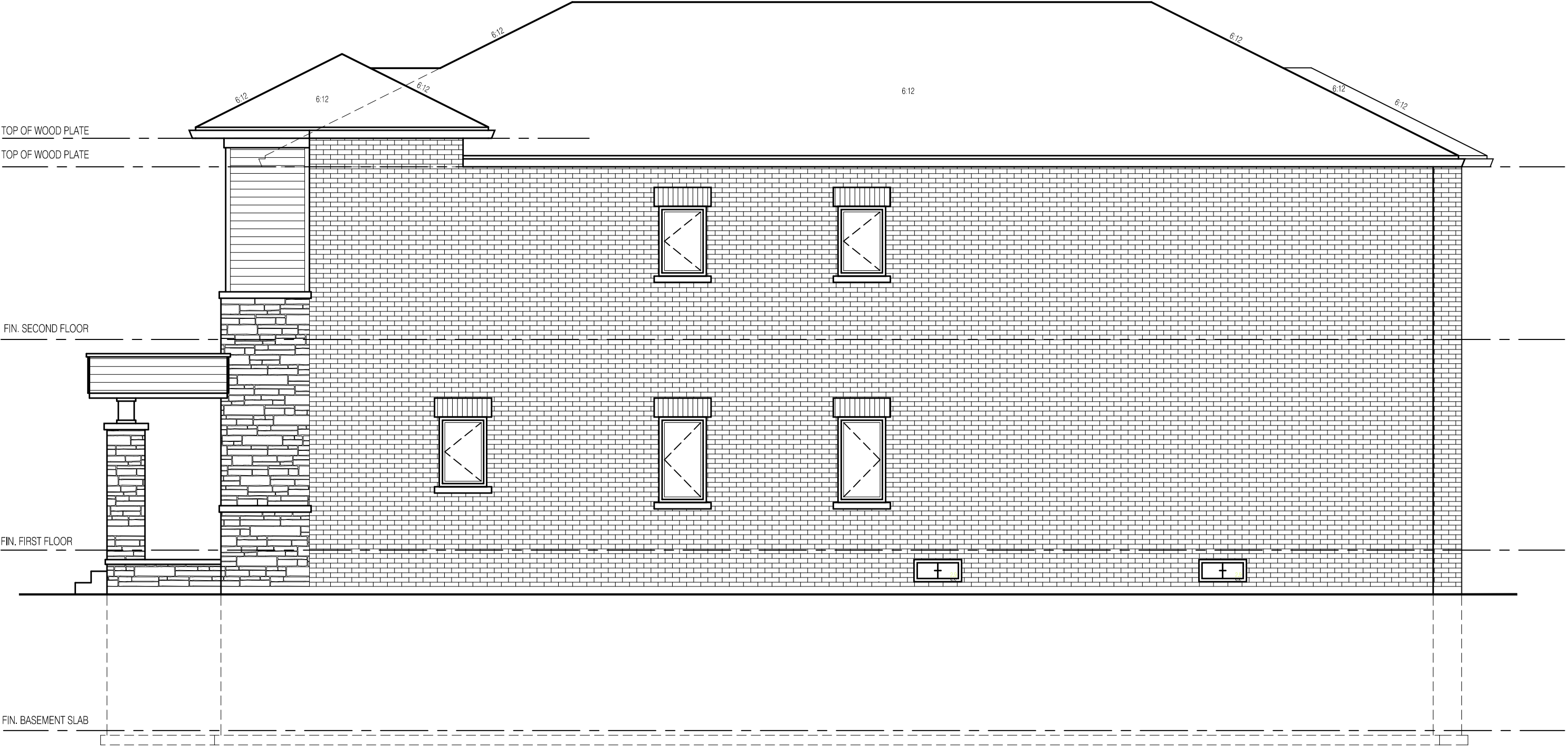
**jardin**  
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VAUGHAN ONT. L4K 3P3  
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RIGHT SIDE ELEVATION

MARVEL HOMES  
1794 APPLEVIEW ROAD (PICKERING)



MODEL SINGLE
SCALE: 3/16"=1'-0"
PROJ. No. 25-11
DWG. No. 6A



RIGHT SIDE ELEVATION 3

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DRAWN BY:      DRAWING NAME: ---

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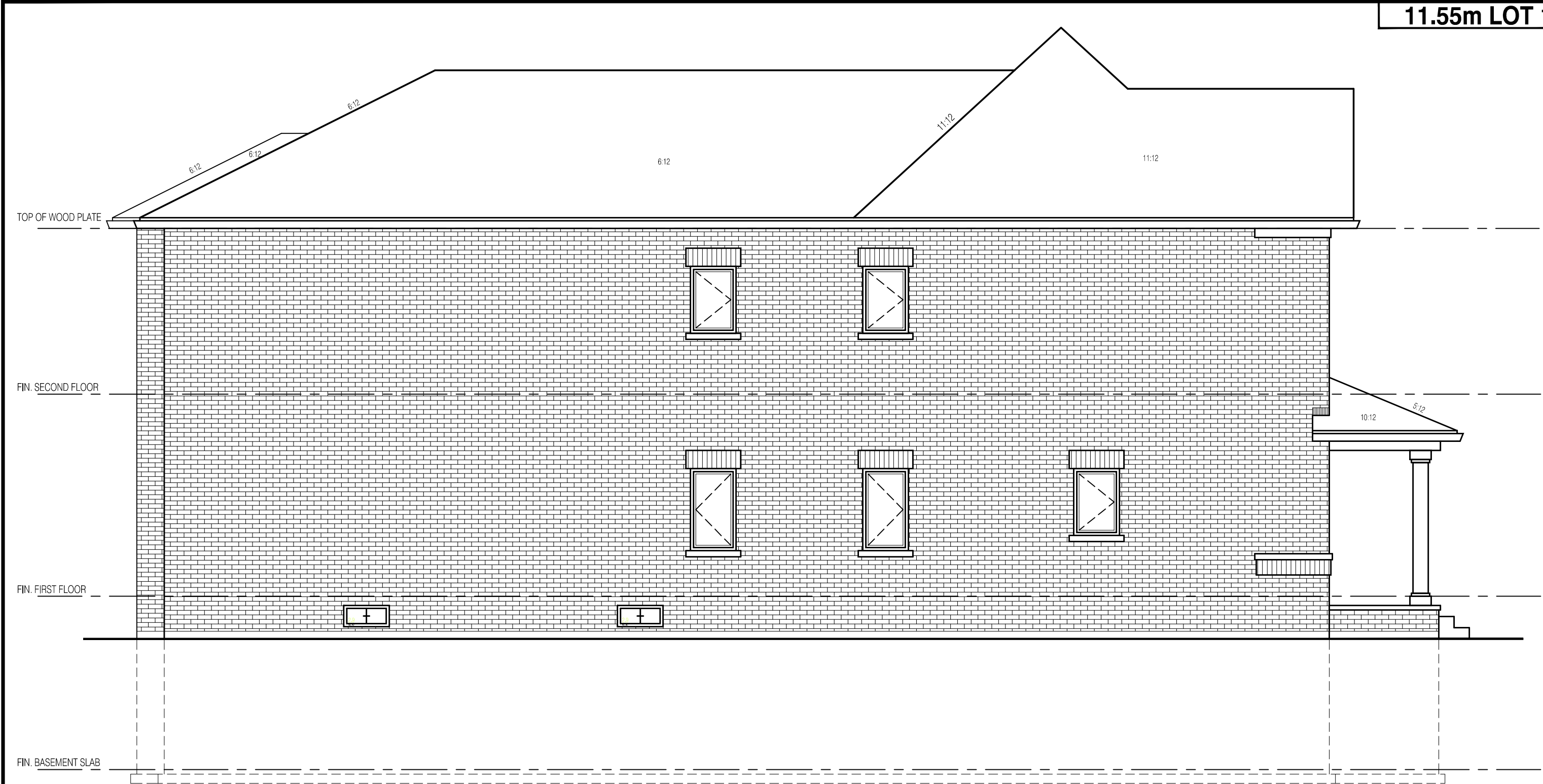
RIGHT SIDE ELEVATION

MARVEL HOMES  
1794 APPLEVIEW ROAD (PICKERING)



MODEL SINGLE
SCALE: 3/16"=1'-0"
PROJ. No. 25-11
DWG. No. 6B






LEFT SIDE ELEVATION 1

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.			<div>UNPROTECTED OPENINGS</div> <div><div>WALL AREA1213.62</div><div>ALLOWABLE WINDOW AREA @ 7.0%(1.25m SIDEYARD)84.95</div><div>ACTUAL GLAZED AREA83.22</div></div>			<div><div>jardin</div><div>DESIGN GROUP INC</div><div>64 JARDIN DR, SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca</div></div>			<div>LEFT SIDE ELEVATION</div> <div>MARVEL HOMES 1794 APPLEVIEW ROAD (PICKERING)</div> <div><div><div><div><div></div><div>BILD®</div></div><div>MODEL SINGLE</div><div>SCALE: 3/16"= 1'-0"</div><div><div>PROJ. No. 25-11</div><div>DWG. No. 8</div></div></div></div></div>		
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LEFT SIDE ELEVATION 2

<p>THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.</p> <p>JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.</p> <p>AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.</p> <p>JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.</p> <p>THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.</p>	7			<p><b>UNPROTECTED OPENINGS</b></p> <table><tr><td>WALL AREA</td><td>1213.62</td><td>⌵</td></tr><tr><td>ALLOWABLE WINDOW AREA @ 7.0%(1.25m SIDEYARD)</td><td>84.95</td><td>⌵</td></tr><tr><td>ACTUAL GLAZED AREA</td><td>83.22</td><td>⌵</td></tr></table>	WALL AREA	1213.62	⌵	ALLOWABLE WINDOW AREA @ 7.0%(1.25m SIDEYARD)	84.95	⌵	ACTUAL GLAZED AREA	83.22	⌵		<p><b>jardin</b> DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca</p>	LEFT SIDE ELEVATION	
	WALL AREA	1213.62	⌵														
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		SCALE: 3/16"=1'-0"															
PROJ. No. 25-11		DWG. No. 8A															
No. DATE: WORK DESCRIPTION:																	

DRAWN BY:

DRAWING NAME: ---



LEFT SIDE ELEVATION 3

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**BILD**

LEFT SIDE ELEVATION

MARVEL HOMES  
1794 APPLEVIEW ROAD (PICKERING)

MODEL SINGLE	SCALE: 3/16"=1'-0"
PROJ. No. 25-11	DWG. No. 8B

DRAWN BY:

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