

PICKERING DESIGN CENTRE MASTER PLAN

1775 PICKERING PARKWAY
PICKERING, ON.

06.037RZ



**TURNER
FLEISCHER**

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**ISSUED FOR RZ SUBMISSION
OCTOBER 06, 2025**



CIVIL

ODAN DETECH

5230 South Service Road
Unit 107
Burlington, ON, L7L 5K2
Tel: 905-632-3811
Contact: Mark Harris
Email: mark@odandetech.com



Studio TLA

20 Champlain Boulevard
Suite 102
Toronto, ON, M3H 2Z1
Tel: 416-638-4911
Contact: Ray Ronaghan
Email: rronaghan@studiotla.com



HGC Engineering

2000 Argenta Road, Plaza One
Suite 203
Mississauga, ON, L5N 1P7
Tel: 905-826-4044
Contact: Yvonne Lo
Email: ylo@hgcengineering.com



**SURVEYING
Speight, Van Nostrand &
Gibson Limited**

750 Oakdale Road
Unit 65 & 66
Toronto, ON, M3N 2Z4
Tel: 416-749-7866
Contact: Dave Wilton
Email: wilton@svng.on.ca



PLANNING

Zelinka Priamo Ltd.

20 Maud Street, Suite 305
Toronto, Ontario
M5V 2M5
Tel: 416-801-6140
Contact: Robert MacFarlane
Email: robert.m@zpllan.com

SITE INFO

SITE AREA	94,932 m ²	1,021,840 ft ²
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SITE AREA BREAKDOWN

BLOCK 1 SITE AREA	11,210.85 m ²	120,672.59 ft ²
BLOCK 2 SITE AREA (PARK INCLUDED)	25,880.39 m ²	278,574.20 ft ²
BLOCK 3 SITE AREA	6,934.76 m ²	74,645.14 ft ²
BLOCK 4 SITE AREA (PARK INCLUDED)	16,528.26 m ²	177,908.71 ft ²
BLOCK 5 SITE AREA	11,961.77 m ²	128,755.42 ft ²
BLOCK 6 SITE AREA	8,288.88 m ²	89,220.76 ft ²
BLOCK 7 SITE AREA	14,127.09 m ²	152,062.73 ft ²

PROJECT SUMMARY

TOTAL PROPOSED NFA	350,442.56 m ²	3,772,132.32 ft ²
OVERALL OFFICE NFA	18,432.42 m ²	198,404.97 ft ²
OVERALL RESIDENTIAL NFA	326,154.63 m ²	3,510,699.22 ft ²
OVERALL RETAIL NFA	5,855.51 m ²	63,028.19 ft ²
FSI	3.69	
TOTAL NUMBER OF RESIDENTIAL UNITS	5,109	

PARK AREA

PUBLIC PARK AREA	14.57 %	13,833 m ²	148,897 ft ²
POPS AT BLOCK 1 AREA (50% COUNTED TOWARDS PARKLAND)		834.05 m ²	8,977 ft ²
PARK + POPS AT BLOCK 1 AREA	15.01 %	14,250 m ²	153,385 ft ²

PARK + POPS IS 15% OF GROSS SITE AREA INCLUDING PARK AND ROW

DEFINITIONS

PROJECT SUMMARY

CITY OF PICKERING ZONING BY-LAW NO.8149/24

NET FLOOR AREA DEFINITION

AS PER CITY OF PICKERING ZONING BY-LAW NO.8149/24

"Net Floor Area" means the total area of all floors of a building measured from the interior faces of the exterior walls or demising walls, but does not include the following areas:

- (A) Motor vehicle parking and bicycle parking below average grade;
- (B) Motor vehicle parking and bicycle parking at or above average grade;
- (C) Loading spaces and related corridors used for loading purposes;
- (D) Rooms for storage, storage lockers, washrooms, electrical, utility, mechanical and ventilation;
- (E) Indoor amenity area space required by this By-law;
- (F) Elevator, garbage and ventilating shafts;
- (G) Mechanical penthouse;
- (H) Porches, non-walk-in bay windows, attics, basements, enclosed or roofed walkways; and
- (I) Stairwells in the building.

FSI DEFINITION

"Floor space index (FSI)" means the total net floor area of all buildings on a lot divided by the total lot area.

TURNER FLEISCHER

Turner Fleischer Architects Inc.
67 Lesmill Road
Toronto, ON, M5B 2T8
1-416-425-2222
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BLOCK 1
TOWER A 31 FLOORS
TOWER B 31 FLOORS

SITE AREA	11,210.85 m ²	120,672.59 ft ²
OVERALL NFA	50,279.94 m ²	541,208.77 ft ²
NUMBER OF RESIDENTIAL UNITS	678	

RESIDENTIAL NFA

	PODIUM (FL.1 - FL.6)	TOWER (FL.7 - FL.31)	TOTAL
SALEABLE	11,135.91 m ²	119,895.92 ft ²	32,066.86 m ²
NON-SALEABLE	1,858.54 m ²	20,005.12 ft ²	2,793.03 m ²
TOTAL	1,604.46 m ²	17,270.14 ft ²	48,675.49 m ²

RETAIL NFA

	RETAIL NFA
RETAIL	1,408.65 m ²
RETAIL SERV.	195.80 m ²
TOTAL	1,604.45 m ²

TOTAL NFA

	NFA
SALEABLE	43,802.76 m ²
NON-SALEABLE	4,872.73 m ²
RETAIL	1,408.65 m ²
RETAIL SERV.	195.80 m ²
TOTAL	50,279.94 m ²

NUMBER OF RESIDENTIAL UNITS

NUMBER OF UNITS	678
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AVERAGE UNIT SIZE: 60.8MP

AMENITY (REQUIRED)

AMENITY REQUIRED	UNITS	INDOOR	OUTDOOR
	678	1356	2712

RATIO: 2.0P INDOOR + 4.0P OUTDOOR/UNIT

AMENITY (PROVIDED)

INDOOR AMENITY	BALCONY	OUTDOOR AMENITY
FLOOR 6 319.20 m ²	3,435.63 m ²	FLOOR 1 1,118.70 m ²
FLOOR 7 1,308.92 m ²	14,089.05 m ²	FLOOR 1 388.64 m ²
TOTAL 1,628.11 m ²	17,524.68 m ²	FLOOR 7 787.77 m ²

RATIO: 2.5P INDOOR + 4.0P OUTDOOR/UNIT

PARKING (REQUIRED)

REQUIRED PARKING	UNITS	RESIDENTIAL	VISITOR	RETAIL	TOTAL
	678	540	100	58	698

RATIO: 0.8 PARKING SPACE + 0.15 VISITOR SPACE/UNIT

PARKING (PROVIDED)

PARKING SCHEDULE	UNITS
UG 4	169
UG 3	169
UG 2	163
UG 1	158
FLOOR 1	3
TOTAL PROVIDED:	662

VISITOR AND RETAIL PARKING SPACES WILL BE PROVIDED AT THE UG LEVEL, MEETING THE MINIMUM REQUIRED STANDARDS.

BLOCK 2
TOWER A 24 FLOORS
TOWER B 32 FLOORS
TOWER C 43 FLOORS

SITE AREA	25,880.39 m ²	278,574.20 ft ²
OVERALL NFA	80,602.27 m ²	867,574.12 ft ²
NUMBER OF RESIDENTIAL UNITS	1199	

RESIDENTIAL NFA

	PODIUM (FL.1 - FL.6)	TOWER (FL.7 - FL.43)	TOTAL
SALEABLE	16,058.06 m ²	172,847.50 ft ²	55,987.89 m ²
NON-SALEABLE	2,408.17 m ²	25,921.33 ft ²	5,518.22 m ²
TOTAL	868.37 m ²	9,347.01 ft ²	79,731.91 m ²

RETAIL NFA

	RETAIL NFA
RETAIL	829.79 m ²
RETAIL SERV.	38.57 m ²
TOTAL	868.37 m ²

TOTAL NFA

	NFA
SALEABLE	71,925.95 m ²
NON-SALEABLE	7,805.96 m ²
RETAIL	829.79 m ²
RETAIL SERV.	38.57 m ²
TOTAL	80,602.27 m ²

NUMBER OF RESIDENTIAL UNITS

NUMBER OF UNITS	1199
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AVERAGE UNIT SIZE: 60.8MP

AMENITY (REQUIRED)

AMENITY REQUIRED	UNITS	INDOOR	OUTDOOR
	1199	2398	4795

RATIO: 2.0P INDOOR + 4.0P OUTDOOR/UNIT

AMENITY (PROVIDED)

INDOOR AMENITY	BALCONY	OUTDOOR AMENITY
FLOOR 1 540.25 m ²	5,815.25 m ²	FLOOR 1 1,978.35 m ²
FLOOR 7 1,583.19 m ²	17,041.37 m ²	FLOOR 1 2,173.05 m ²
TOTAL 2,123.45 m ²	22,856.62 m ²	FLOOR 7 987.65 m ²

RATIO: 2.5P INDOOR + 4.0P OUTDOOR/UNIT

PARKING (REQUIRED)

REQUIRED PARKING	UNITS	RESIDENTIAL	VISITOR	RETAIL	TOTAL
	1199	960	180	31	1171

RATIO: 0.8 PARKING SPACE + 0.15 VISITOR SPACE/UNIT

PARKING (PROVIDED)

PARKING SCHEDULE	UNITS
UG 5	224
UG 4	241
UG 3	241
UG 2	241
UG 1	224
TOTAL PROVIDED:	1171

VISITOR AND RETAIL PARKING SPACES WILL BE PROVIDED AT THE UG LEVEL, MEETING THE MINIMUM REQUIRED STANDARDS.

BLOCK 3
TOWER A 24 FLOORS
TOWER B 26 FLOORS

SITE AREA	6,934.76 m ²	74,645.14 ft ²
OVERALL NFA	43,514.97 m ²	468,391.24 ft ²
NUMBER OF RESIDENTIAL UNITS	646	

RESIDENTIAL NFA

	PODIUM (FL.1 - FL.6)	TOWER (FL.7 - FL.26)	TOTAL
SALEABLE	12,068.72 m ²	129,885.15 ft ²	26,064.54 m ²
NON-SALEABLE	1,773.89 m ²	19,093.94 ft ²	2,248.52 m ²
TOTAL	1,773.89 m ²	19,093.94 ft ²	43,028.03 m ²

RETAIL NFA

	RETAIL NFA
RETAIL	458.93 m ²
RETAIL SERV.	28.00 m ²
TOTAL	486.93 m ²

TOTAL NFA

	NFA
SALEABLE	38,731.26 m ²
NON-SALEABLE	4,296.77 m ²
RETAIL	458.93 m ²
RETAIL SERV.	28.00 m ²
TOTAL	43,514.97 m ²

NUMBER OF RESIDENTIAL UNITS

NUMBER OF UNITS	646
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AVERAGE UNIT SIZE: 60.8MP

AMENITY (REQUIRED)

AMENITY REQUIRED	UNITS	INDOOR	OUTDOOR
	646	1291	2582

RATIO: 2.0P INDOOR + 4.0P OUTDOOR/UNIT

AMENITY (PROVIDED)

INDOOR AMENITY	BALCONY	OUTDOOR AMENITY
FLOOR 1 372.52 m ²	4,009.83 m ²	FLOOR 1 1,065.90 m ²
FLOOR 7 955.32 m ²	10,282.88 m ²	FLOOR 1 788.87 m ²
TOTAL 1,327.84 m ²	14,292.80 m ²	FLOOR 7 708.26 m ²

RATIO: 2.5P INDOOR + 4.0P OUTDOOR/UNIT

PARKING (REQUIRED)

REQUIRED PARKING	UNITS	RESIDENTIAL	VISITOR	RETAIL	TOTAL
	646	520	100	18	638

RATIO: 0.8 PARKING SPACE + 0.15 VISITOR SPACE/UNIT

PARKING (PROVIDED)

PARKING SCHEDULE	UNITS
UG 4	88
UG 3	189
UG 2	189
UG 1	172
TOTAL PROVIDED:	638

VISITOR AND RETAIL PARKING SPACES WILL BE PROVIDED AT THE UG LEVEL, MEETING THE MINIMUM REQUIRED STANDARDS.

BLOCK 4
TOWER A 43 FLOORS
TOWER B 32 FLOORS

SITE AREA	16,528.26 m ²	177,908.71 ft ²
OVERALL NFA	62,611.40 m ²	673,943.47 ft ²
NUMBER OF RESIDENTIAL UNITS	1047	

RESIDENTIAL NFA

	PODIUM (FL.1 - FL.6)	TOWER (FL.7 - FL.43)	TOTAL
SALEABLE	12,123.96 m ²	130,501.14 ft ²	43,384.05 m ²
NON-SALEABLE	1,853.90 m ²	19,955.21 ft ²	4,138.46 m ²
TOTAL	1,604.46 m ²	17,270.14 ft ²	61,718.53 m ²

RETAIL NFA

	RETAIL NFA
RETAIL	803.02 m ²
RETAIL SERV.	89.85 m ²
TOTAL	892.87 m ²

TOTAL NFA

	NFA
SALEABLE	55,508.01 m ²
NON-SALEABLE	6,210.52 m ²
RETAIL	803.02 m ²
RETAIL SERV.	89.85 m ²
TOTAL	62,611.40 m ²

NUMBER OF RESIDENTIAL UNITS

NUMBER OF UNITS	1047
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AVERAGE UNIT SIZE: 60.8MP

AMENITY (REQUIRED)

AMENITY REQUIRED	UNITS	INDOOR	OUTDOOR
	1047	2095	4189

RATIO: 2.0P INDOOR + 4.0P OUTDOOR/UNIT

AMENITY (PROVIDED)

INDOOR AMENITY	BALCONY	OUTDOOR AMENITY
FLOOR 1 308.18 m ²	3,317.20 m ²	FLOOR 1 1,727.55 m ²
FLOOR 7 924.28 m ²	9,948.91 m ²	FLOOR 1 1,587.77 m ²
TOTAL 1,232.46 m ²	13,266.10 m ²	FLOOR 7 945.95 m ²

RATIO: 2.5P INDOOR + 4.0P OUTDOOR/UNIT

PARKING (REQUIRED)

REQUIRED PARKING	UNITS	RESIDENTIAL	VISITOR	RETAIL	TOTAL
	1047	840	160	32	1032

RATIO: 0.8 PARKING SPACE + 0.15 VISITOR SPACE/UNIT

PARKING (PROVIDED)

PARKING SCHEDULE	UNITS
UG 5	195
UG 4	195
UG 3	195
UG 2	195
UG 1	182
TOTAL PROVIDED:	962

VISITOR AND RETAIL PARKING SPACES WILL BE PROVIDED AT THE UG LEVEL, MEETING THE MINIMUM REQUIRED STANDARDS.

BLOCK 5
TOWER 28 FLOORS

SITE AREA	11,961.77 m ²	128,755.42 ft ²
OVERALL NFA	40,403.40 m ²	434,898.56 ft ²
NUMBER OF RESIDENTIAL UNITS	588	

RESIDENTIAL NFA

	PODIUM (FL.1 - FL.6)	TOWER (FL.7 - FL.28)	TOTAL
SALEABLE	13,384.15 m ²	144,055.79 ft ²	21,866.01 m ²
NON-SALEABLE	1,757.80 m ²	18,920.79 ft ²	2,036.44 m ²
TOTAL	1,604.46 m ²	17,270.14 ft ²	39,243.53 m ²

RETAIL NFA

	RETAIL NFA
RETAIL	1,134.42 m ²
RETAIL SERV.	26.45 m ²
TOTAL	1,160.87 m ²

TOTAL NFA

	NFA
SALEABLE	35,250.16 m ²
NON-SALEABLE	3,993.37 m ²
RETAIL	1,134.42 m ²
RETAIL SERV.	26.45 m ²
TOTAL	40,403.40 m ²

NUMBER OF RESIDENTIAL UNITS

NUMBER OF UNITS	588
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AVERAGE UNIT SIZE: 60.8MP

AMENITY (REQUIRED)

AMENITY REQUIRED	UNITS	INDOOR	OUTDOOR
	588	1175	2350

RATIO: 2.0P INDOOR + 4.0P OUTDOOR/UNIT

AMENITY (PROVIDED)

INDOOR AMENITY	BALCONY	OUTDOOR AMENITY
FLOOR 1 736.05 m ²	7,922.75 m ²	FLOOR 1 970.20 m ²
FLOOR 5 402.19 m ²	4,329.13 m ²	FLOOR 5 328.87 m ²
TOTAL 1,138.24 m ²	12,251.89 m ²	FLOOR 11 555.67 m ²

RATIO: 2.5P INDOOR + 4.0P OUTDOOR/UNIT

PARKING (REQUIRED)

REQUIRED PARKING	UNITS	RESIDENTIAL	VISITOR	RETAIL	TOTAL
	588	470	90	58	638

RATIO: 0.8 PARKING SPACE + 0.15 VISITOR SPACE/UNIT

PARKING (PROVIDED)

PARKING SCHEDULE	UNITS
UG 4	81
UG 3	174
UG 2	174
UG 1	172
TOTAL PROVIDED:	601

VISITOR AND RETAIL PARKING SPACES WILL BE PROVIDED AT THE UG LEVEL, MEETING THE MINIMUM REQUIRED STANDARDS.

BLOCK 6
TOWER A 22 FLOORS
TOWER B 20 FLOORS

SITE AREA	8,288.88 m ²	89,220.76 ft ²
OVERALL NFA	40,162.44 m ²	432,304.91 ft ²
NUMBER OF RESIDENTIAL UNITS	461	

RESIDENTIAL NFA

	PODIUM (FL.1 - FL.6)	TOWER (FL.7 - FL.22)	TOTAL
SALEABLE	8,435.08 m ²	90,794.48 ft ²	10,020.08 m ²
NON-SALEABLE	1,367.09 m ²	14,715.22 ft ²	858.35 m ²
TOTAL	1,367.09 m ²	14,715.22 ft ²	20,887.00 m ²

RETAIL NFA

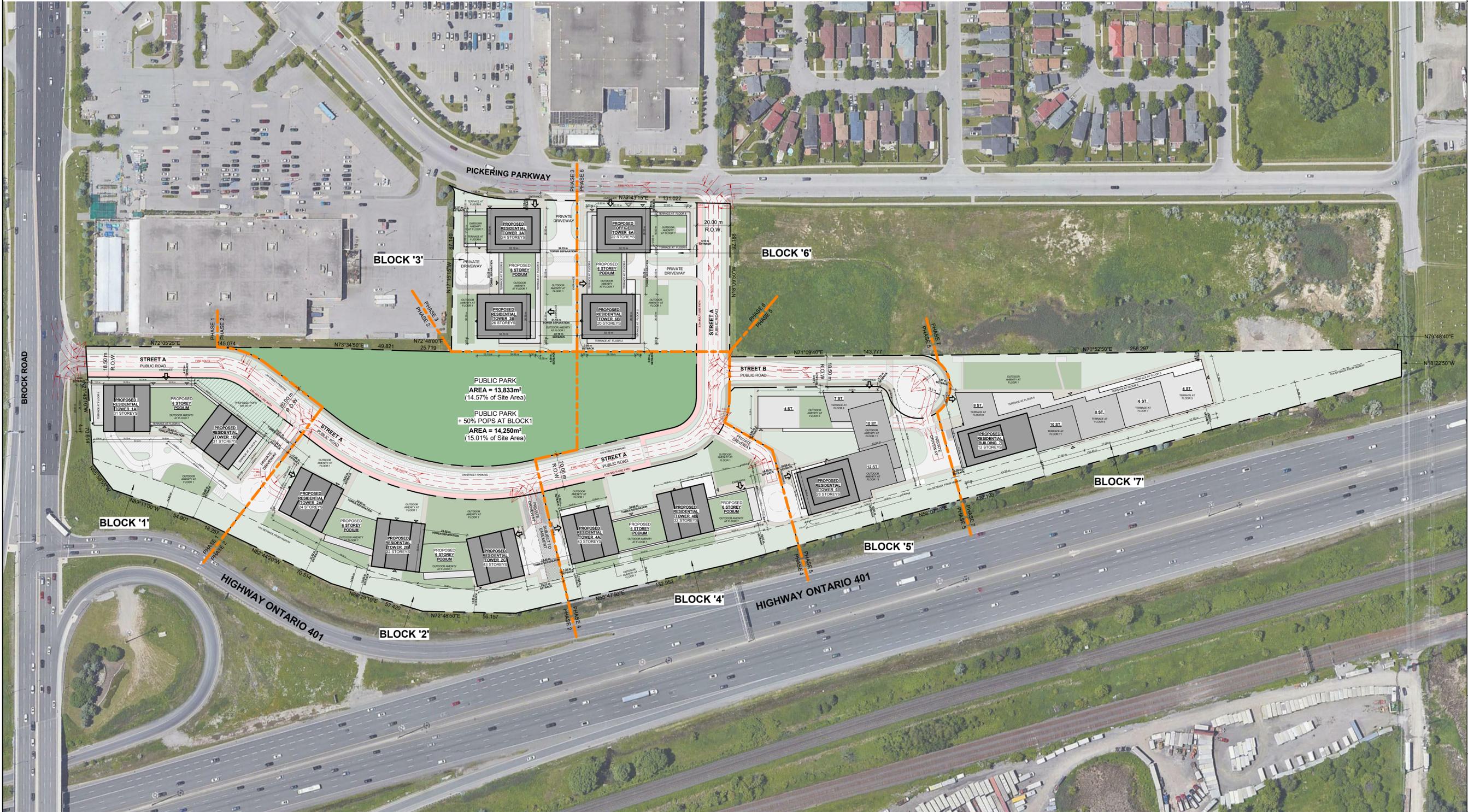
	RETAIL NFA
RETAIL	815.26 m ²
RETAIL SERV.	27.75 m ²
TOTAL	843.01 m ²

OFFICE NFA

	OFFICE NFA
OFFICE	18,432.42 m ²
TOTAL	18,432.42 m ²

NUMBER OF RESIDENTIAL UNITS

NUMBER OF UNITS	4
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#	DATE	DESCRIPTION	BY



**PICKERING DESIGN CENTRE
MASTER PLAN**
1775 PICKERING PARKWAY
PICKERING, ON.

SITE PLAN / ROOF PLAN

PROJECT NO.
06.037RZ
PROJECT DATE
2025-10-06
DRAWN BY
VVA
CHECKED BY
RMM
SCALE
1 : 1100



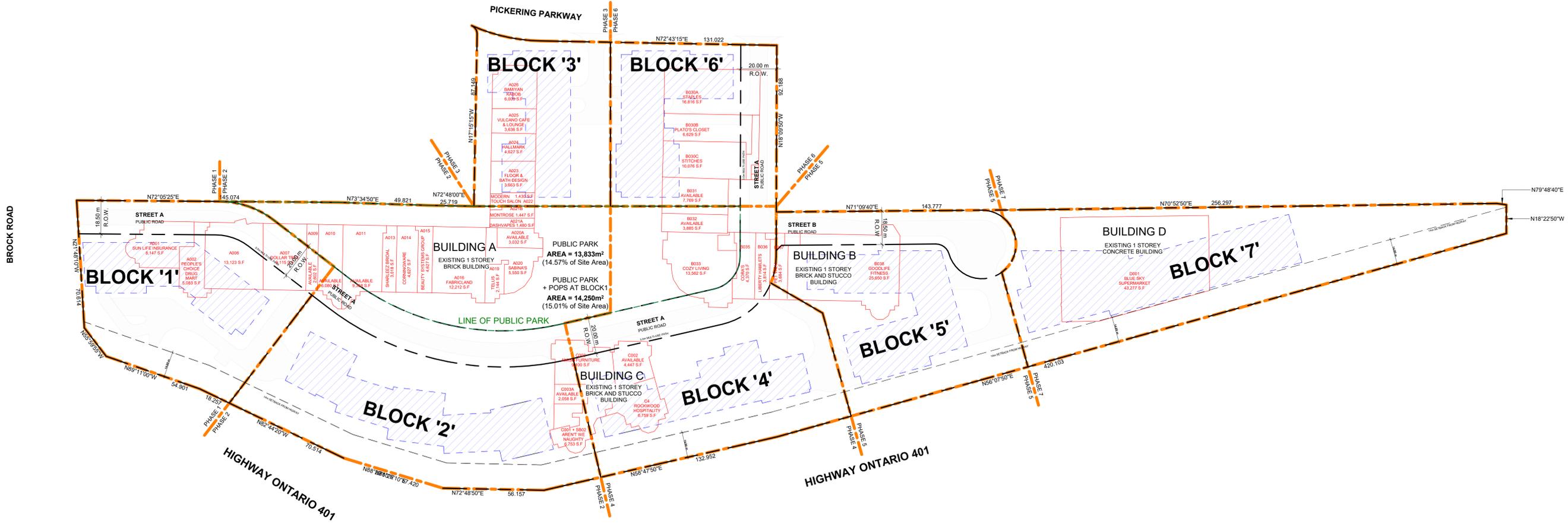
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PHASING PLAN LEGEND

- LOCATION OF EXISTING BUILDINGS
- LOCATION OF PROPOSED BUILDINGS
- PHASING BOUNDARY
- LINE OF PUBLIC PARK



#	DATE	DESCRIPTION	BY
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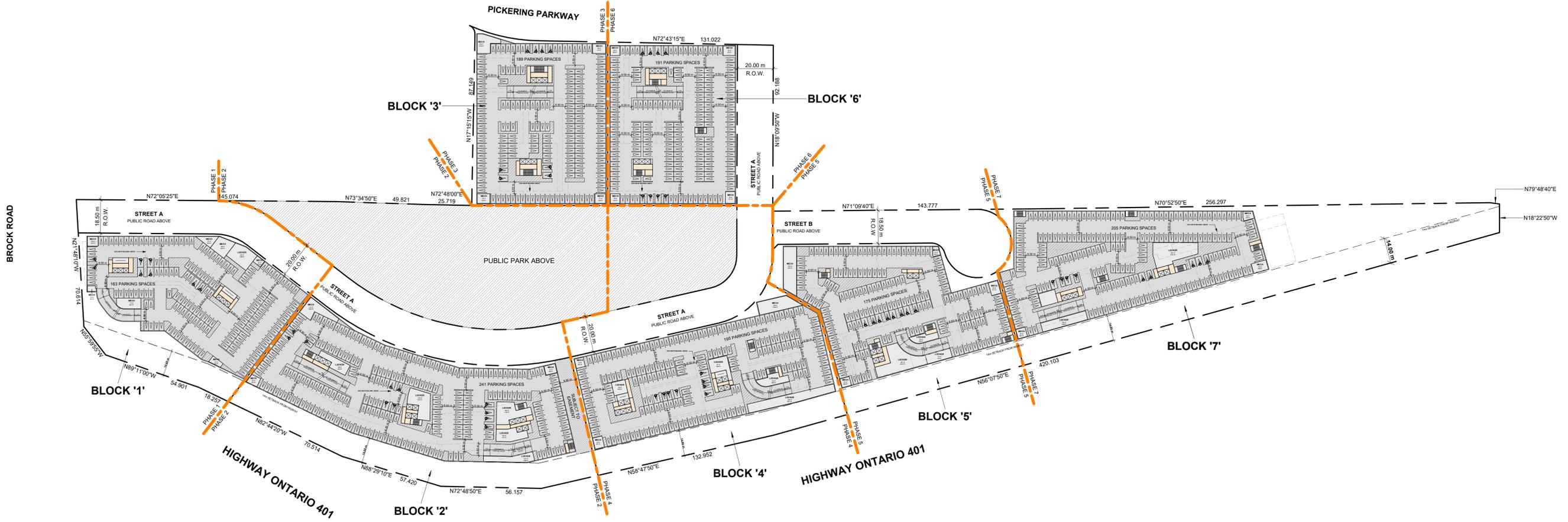
**PICKERING DESIGN CENTRE
MASTER PLAN**
1775 PICKERING PARKWAY
PICKERING, ON.

PHASING PLAN - ALL PHASES

PROJECT NO.
06.037RZ
PROJECT DATE
2025-10-06
DRAWN BY
VVA
CHECKED BY
RMM
SCALE
1:1100



DRAWING NO. SPA008A REV.



#	DATE	DESCRIPTION	BY
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PROJECT
**PICKERING DESIGN CENTRE
MASTER PLAN**
1775 PICKERING PARKWAY
PICKERING, ON.

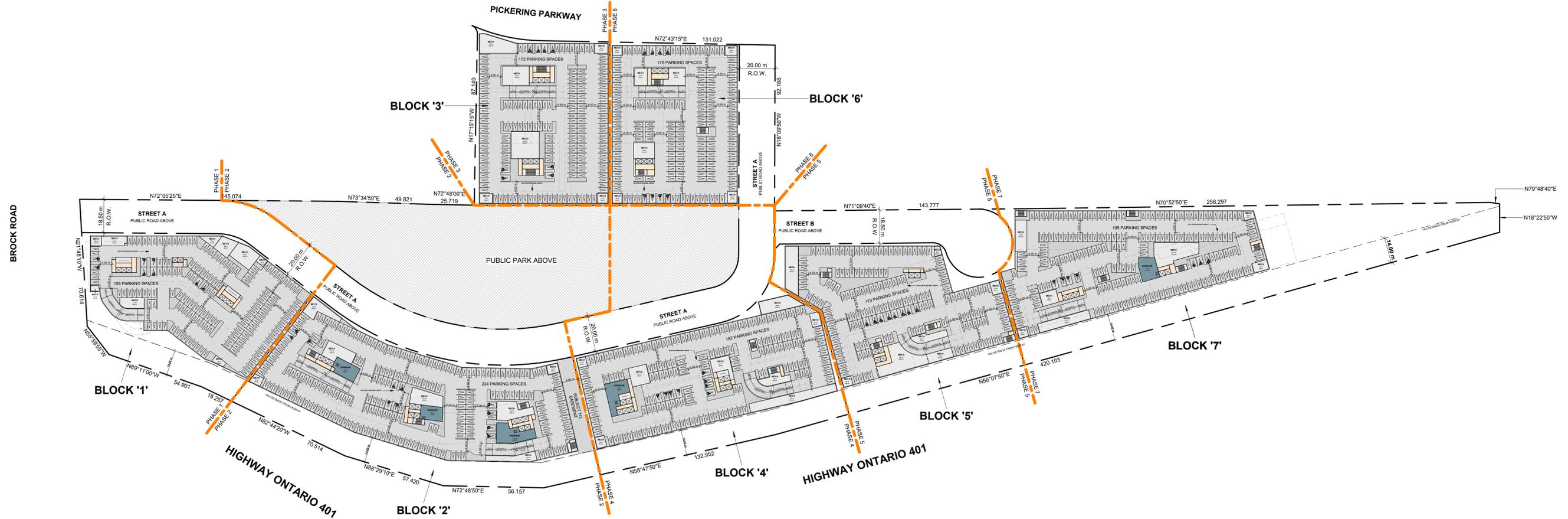
DRAWING
UNDERGROUND 02

PROJECT NO.
06.037RZ
PROJECT DATE
2025-10-06
DRAWN BY
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RMM



DRAWING NO.	REV.
SPA101	

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#	DATE	DESCRIPTION	BY
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PROJECT
**PICKERING DESIGN CENTRE
MASTER PLAN**
1775 PICKERING PARKWAY
PICKERING, ON.

DRAWING
UNDERGROUND 01

PROJECT NO.
06.037RZ
PROJECT DATE
2025-10-06
DRAWN BY
VVA
CHECKED BY
RMM
SCALE
1 : 1100



DRAWING NO.	REV.
SPA102	

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LEGEND	
	PRIMARY RESIDENTIAL ENTRANCE
	SECONDARY RESIDENTIAL ENTRANCE
	RETAIL ENTRANCE
	EXIT
	PRIMARY ACTIVE AT GRADE FRONTAGES
	SECONDARY ACTIVE AT GRADE FRONTAGES



#	DATE	DESCRIPTION	BY



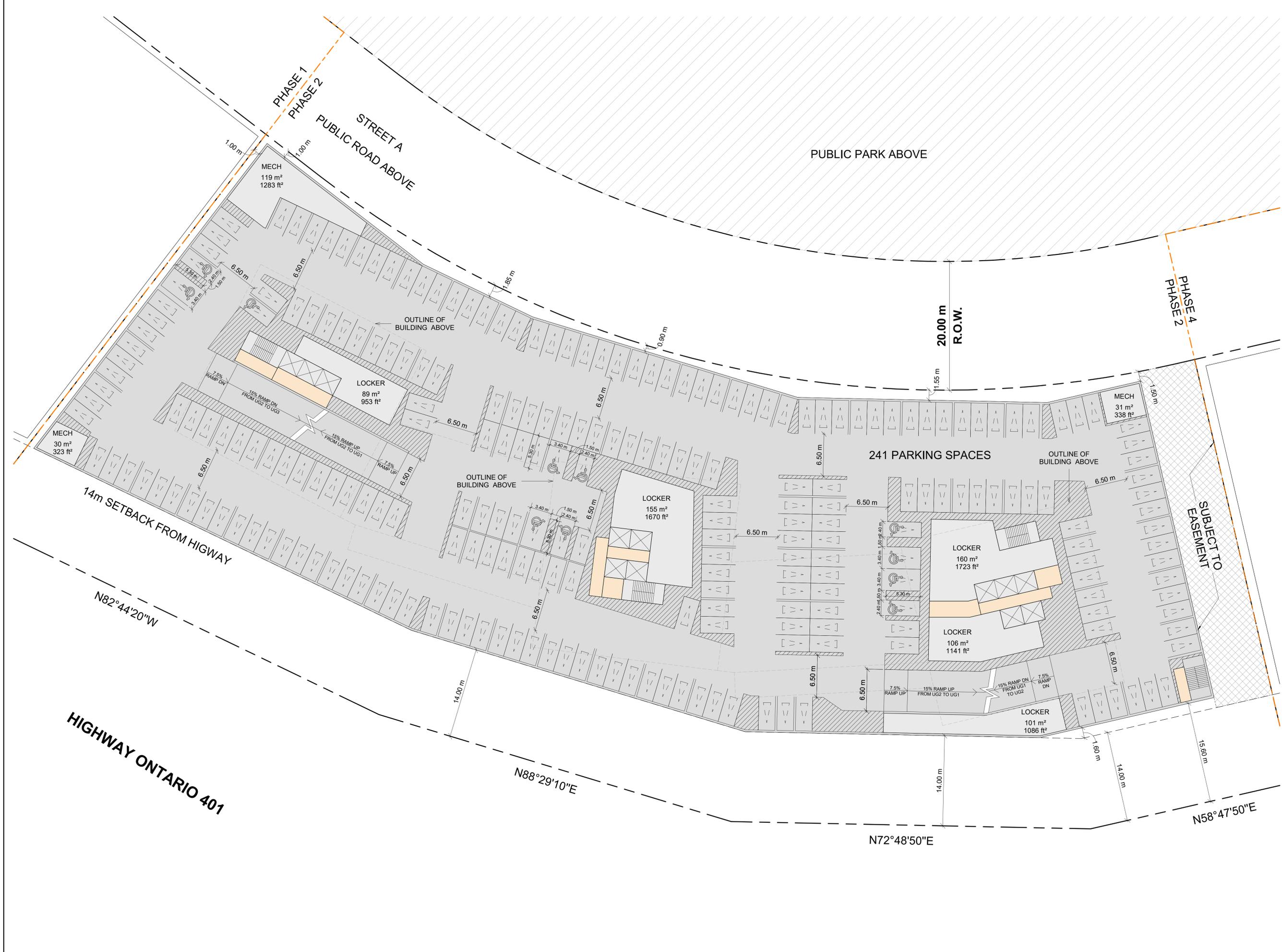
PROJECT
PICKERING DESIGN CENTRE
MASTER PLAN
1775 PICKERING PARKWAY
PICKERING, ON.

DRAWING
FLOOR 01

PROJECT NO.
06.037RZ
PROJECT DATE
2025-10-06
DRAWN BY
VVA
CHECKED BY
RMM
SCALE
1:1100



DRAWING NO.	REV.
SPA151	



#	DATE	DESCRIPTION	BY
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PROJECT
PICKERING DESIGN CENTRE
MASTER PLAN
 1775 PICKERING PARKWAY
 PICKERING, ON.

DRAWING
UNDERGROUND FLOOR 02 - 05
PHASE 2

PROJECT NO. 06.037RZ	
PROJECT DATE 2025-10-06	
DRAWN BY VVA	
CHECKED BY RMM	
SCALE 1 : 250	

DRAWING NO. SPA159.1 **REV.**



#	DATE	DESCRIPTION	BY

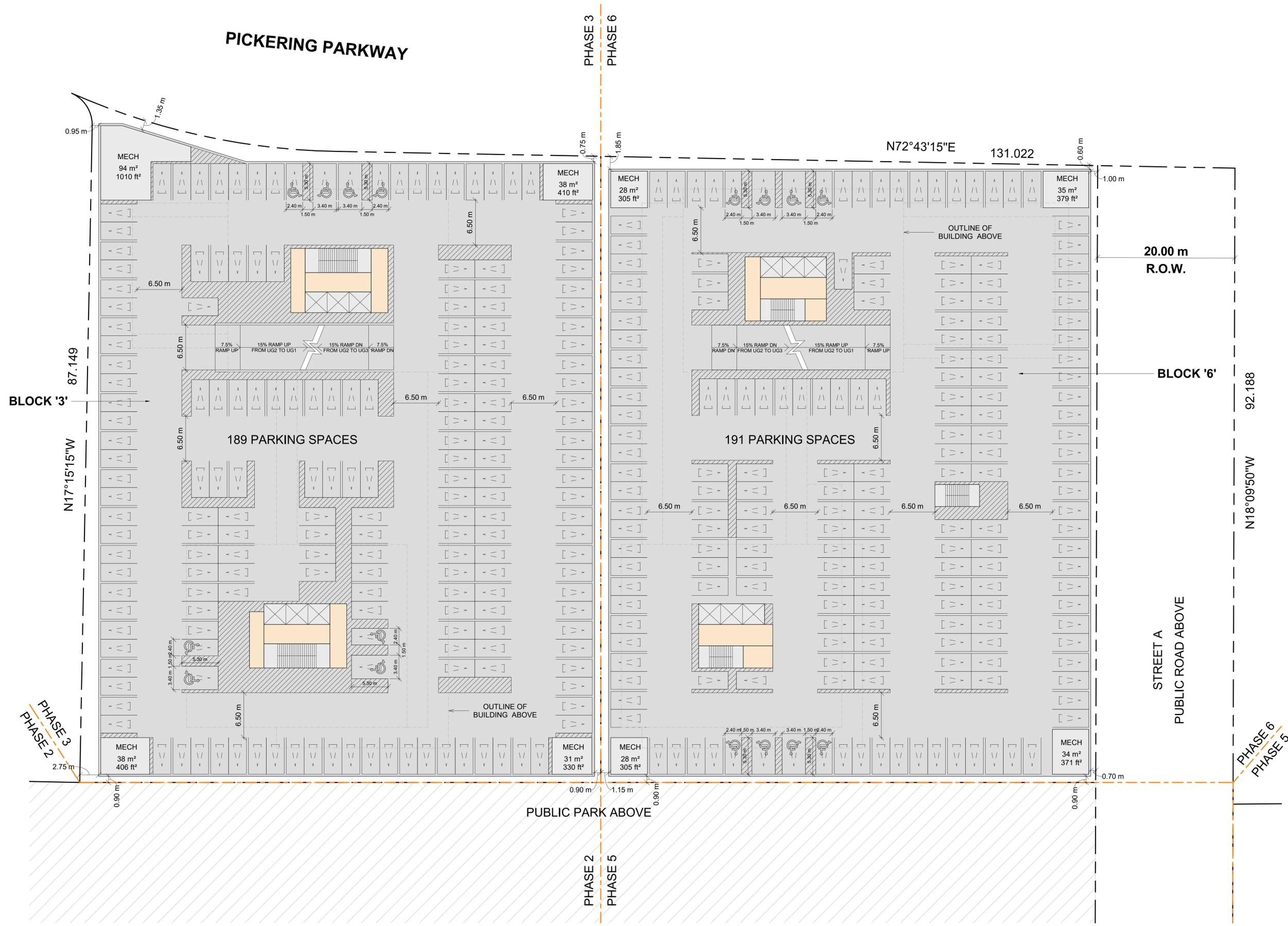


**PICKERING DESIGN CENTRE
 MASTER PLAN**
 1775 PICKERING PARKWAY
 PICKERING, ON.

**UNDERGROUND FLOOR 01
 PHASE 2**

PROJECT NO. 06.037RZ	
PROJECT DATE 2025-10-06	
DRAWN BY VVA	
CHECKED BY RMM	
SCALE 1 : 250	

DRAWING NO. SPA159.2	REV.
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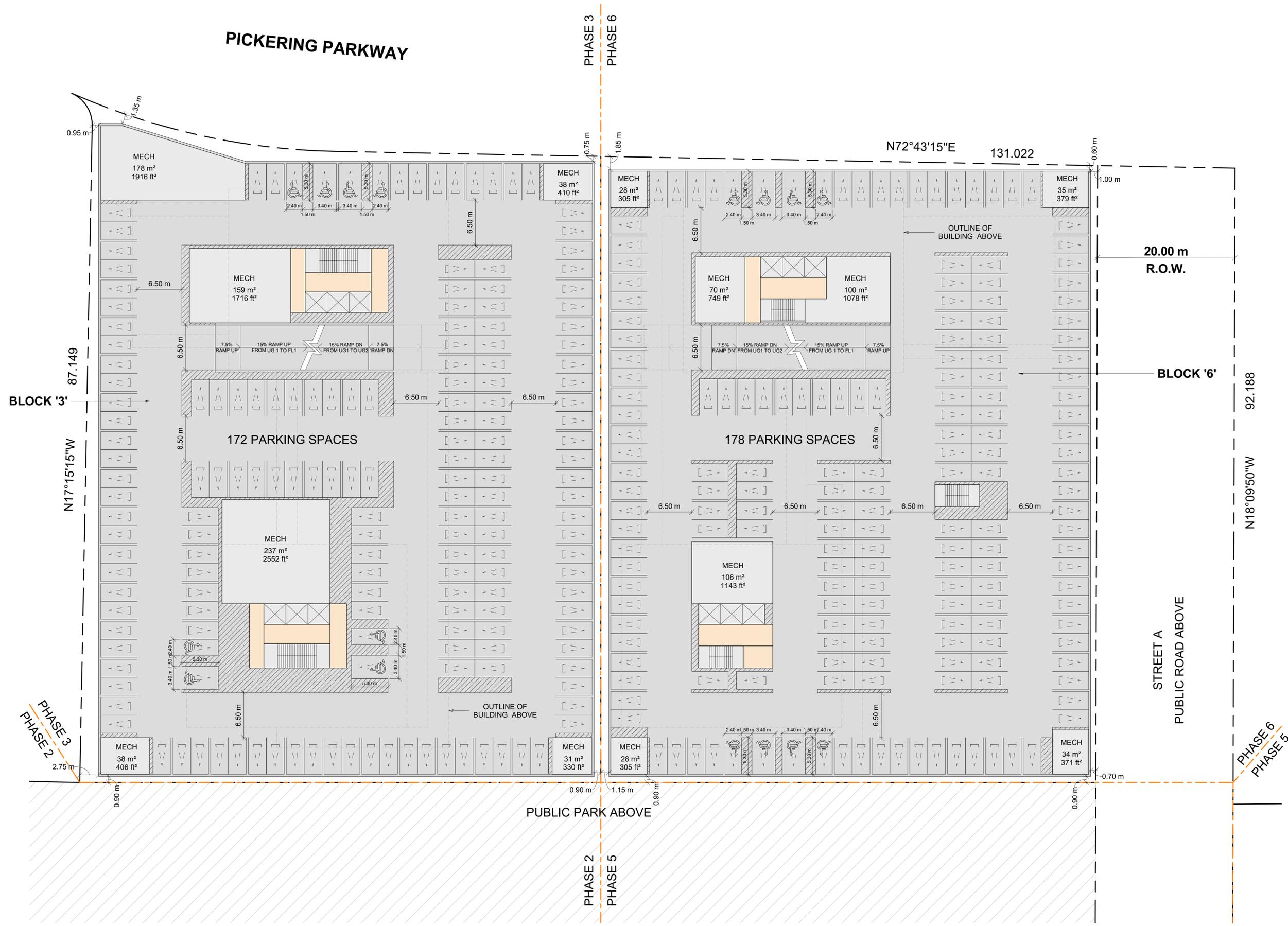
#	DATE	DESCRIPTION	BY

PROJECT
**PICKERING DESIGN CENTRE
MASTER PLAN**
1775 PICKERING PARKWAY
PICKERING, ON.

DRAWING
**UNDERGROUND FLOOR 02 - 04
PHASES 3 & 6**

PROJECT NO. 06.037RZ	 RUSSELL L. FLEISCHER LICENCE 5004
PROJECT DATE 2025-10-06	
DRAWN BY VVA	
CHECKED BY RMM	
SCALE 1 : 250	

DRAWING NO. **SPA160.1** REV.



#	DATE	DESCRIPTION	BY
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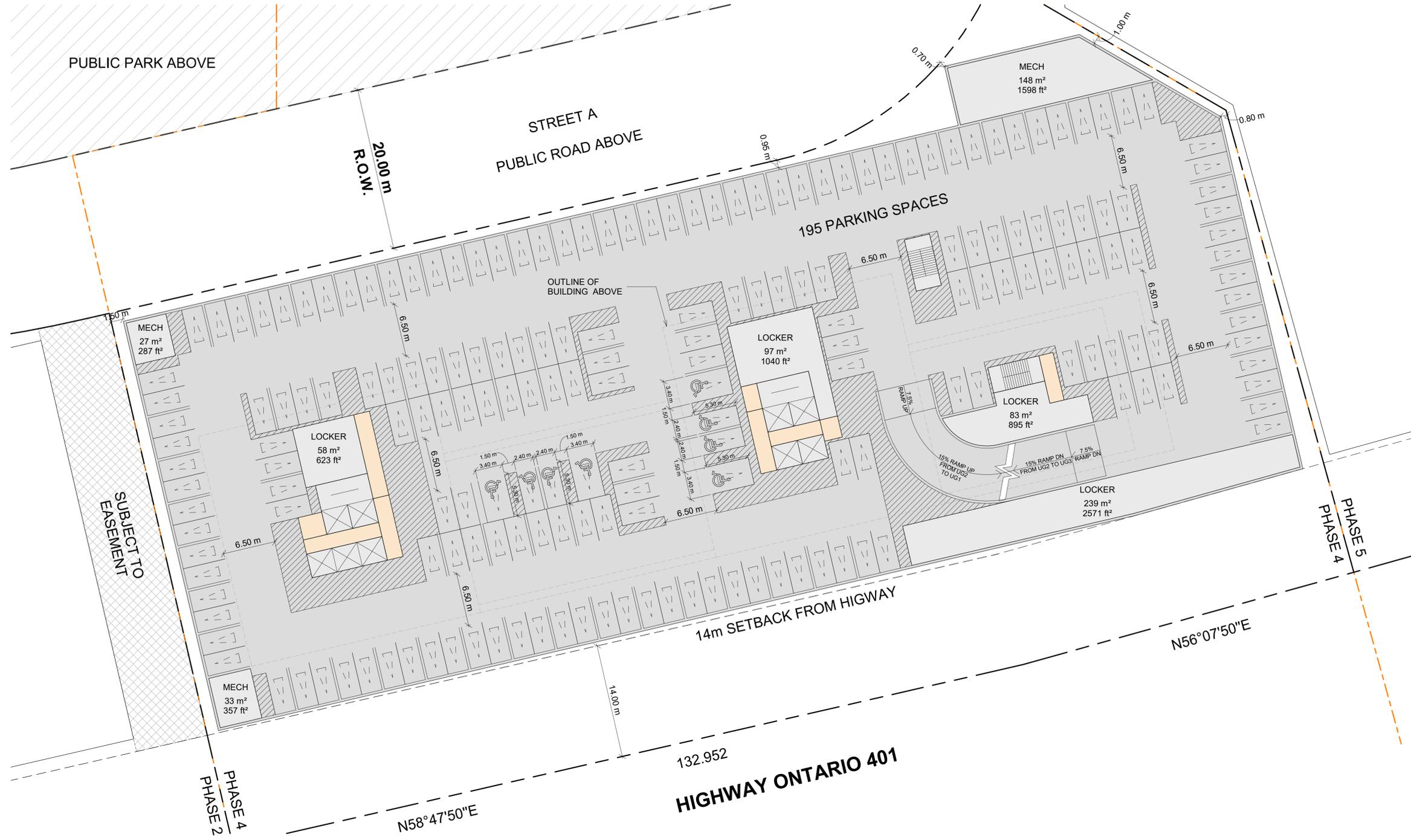
PROJECT
**PICKERING DESIGN CENTRE
MASTER PLAN**
1775 PICKERING PARKWAY
PICKERING, ON.

DRAWING
**UNDERGROUND FLOOR 01
PHASES 3 & 6**

PROJECT NO.
06.037RZ
PROJECT DATE
2025-10-06
DRAWN BY
VVA
CHECKED BY
RMM
SCALE
1 : 250
5004



DRAWING NO.	REV.
SPA160.2	



#	DATE	DESCRIPTION	BY
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PROJECT
**PICKERING DESIGN CENTRE
 MASTER PLAN**
 1775 PICKERING PARKWAY
 PICKERING, ON.

DRAWING
**UNDERGROUND FLOOR 02 - 05
 PHASE 4**

PROJECT NO.
06.037RZ
 PROJECT DATE
2025-10-06
 DRAWN BY
VVA
 CHECKED BY
RMM
 SCALE
1 : 250



DRAWING NO.	REV.
SPA161.1	



#	DATE	DESCRIPTION	BY
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PROJECT
**PICKERING DESIGN CENTRE
MASTER PLAN**
1775 PICKERING PARKWAY
PICKERING, ON.

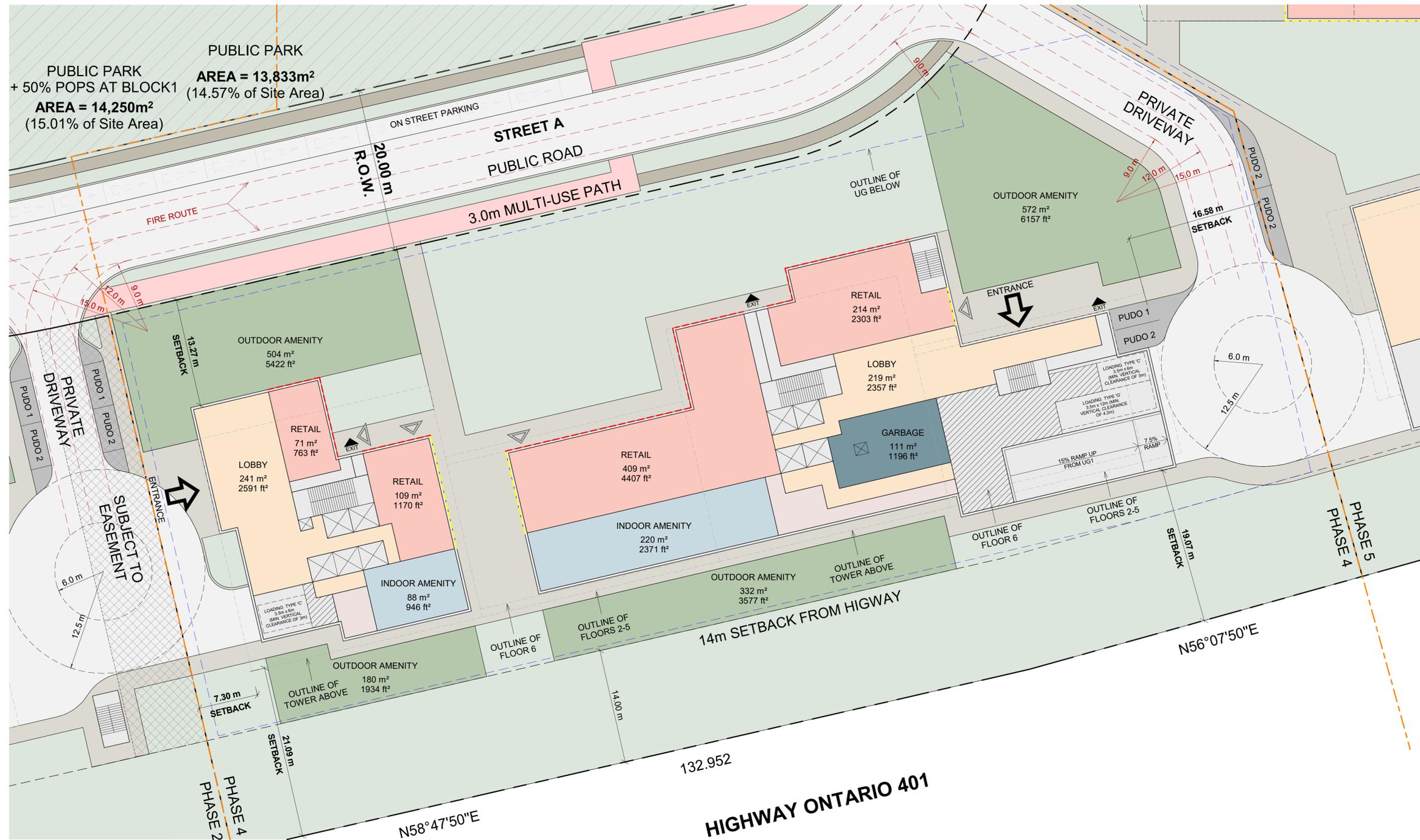
DRAWING
**UNDERGROUND FLOOR 01
PHASE 4**

PROJECT NO. 06.037RZ	
PROJECT DATE 2025-10-06	
DRAWN BY VVA	
CHECKED BY RMM	
SCALE 1 : 250	

DRAWING NO. SPA161.2	REV.
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LEGEND	
	PRIMARY RESIDENTIAL ENTRANCE
	SECONDARY RESIDENTIAL ENTRANCE
	RETAIL ENTRANCE
	EXIT
	PRIMARY ACTIVE AT GRADE FRONTAGES
	SECONDARY ACTIVE AT GRADE FRONTAGES



#	DATE	DESCRIPTION	BY

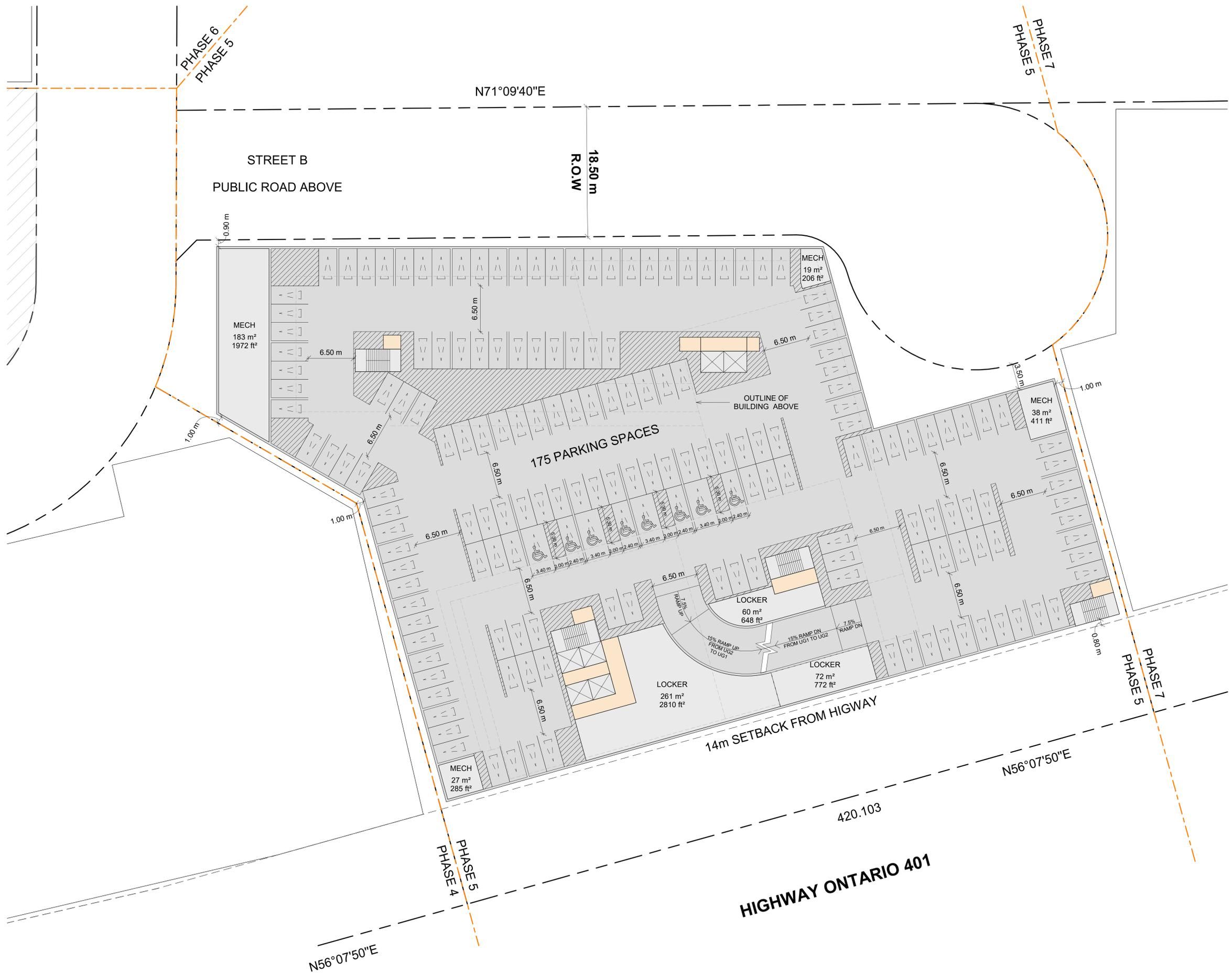


PROJECT
PICKERING DESIGN CENTRE
MASTER PLAN
1775 PICKERING PARKWAY
PICKERING, ON.

DRAWING
FLOOR 01
PHASE 4

PROJECT NO. 06.037RZ	 RUSSELL L. FLEISCHER LICENCE 5004
PROJECT DATE 2025-10-06	
DRAWN BY VVA	
CHECKED BY RMM	
SCALE 1:250	

DRAWING NO. SPA161.3	REV.
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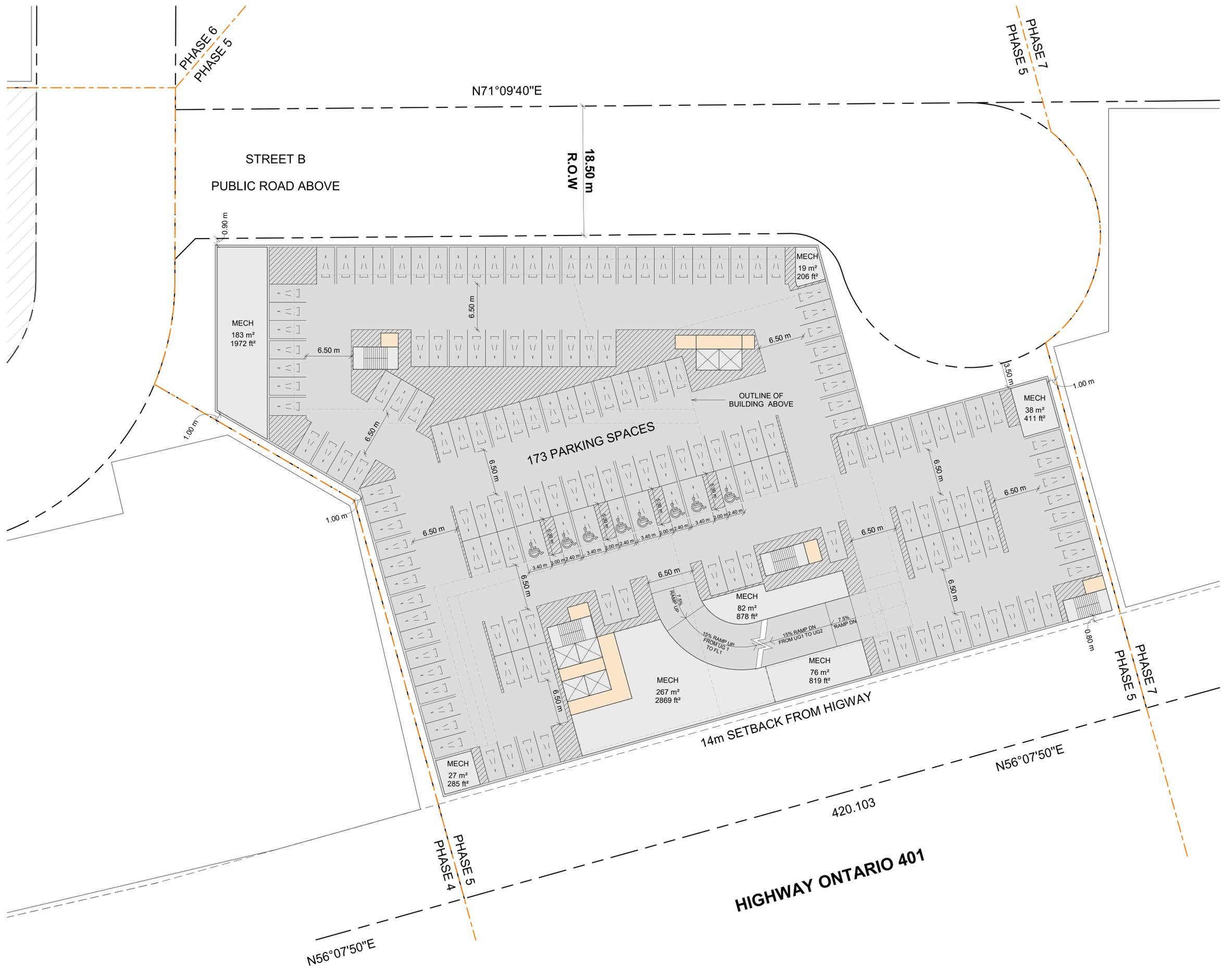
#	DATE	DESCRIPTION	BY
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PROJECT
PICKERING DESIGN CENTRE
MASTER PLAN
 1775 PICKERING PARKWAY
 PICKERING, ON.

DRAWING
UNDERGROUND 02 - 04
PHASE 5

PROJECT NO. 06.037RZ	
PROJECT DATE 2025-10-06	
DRAWN BY VVA	
CHECKED BY RMM	
SCALE 1 : 250	

DRAWING NO. SPA162.1	REV.
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#	DATE	DESCRIPTION	BY
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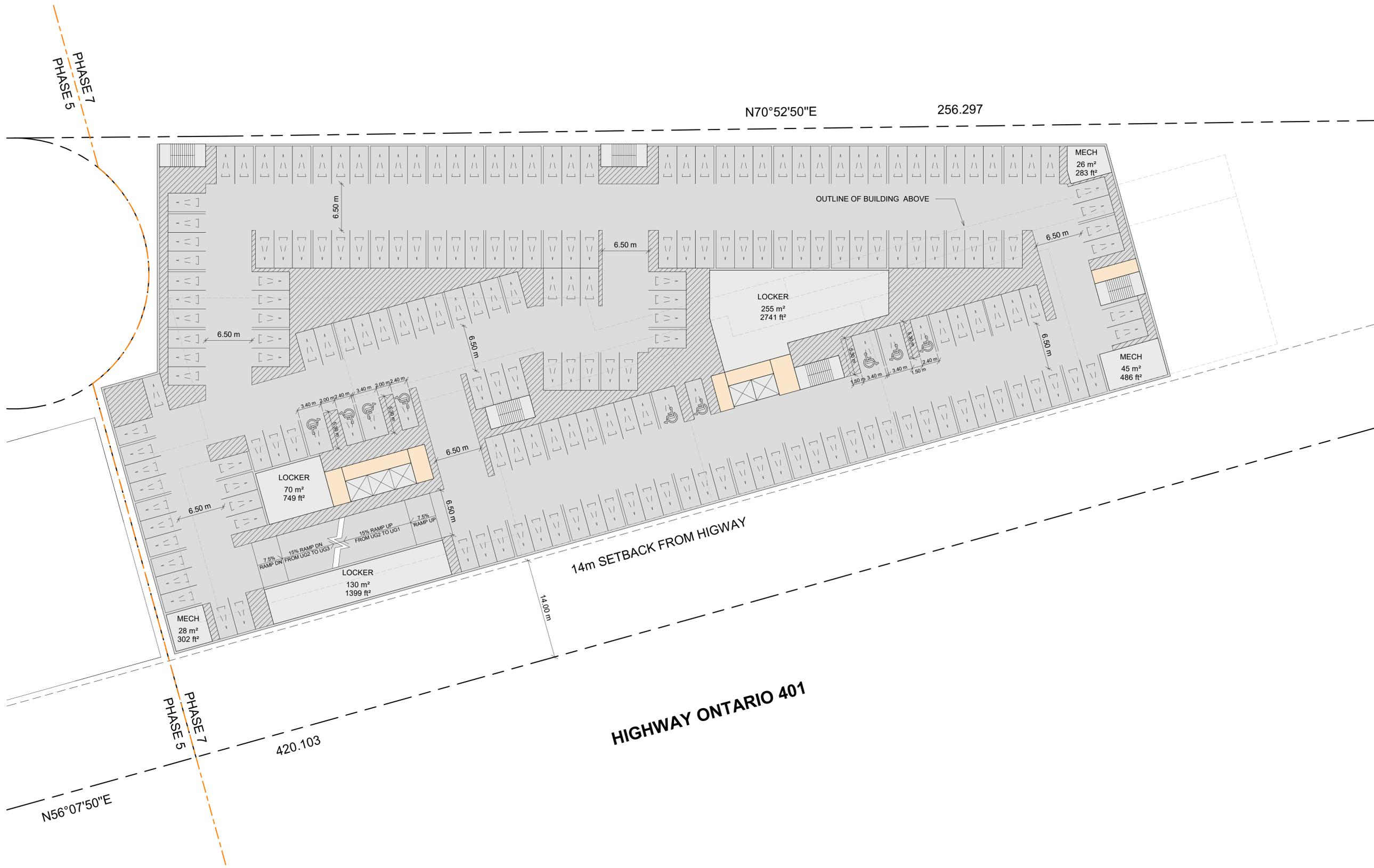


PROJECT
**PICKERING DESIGN CENTRE
 MASTER PLAN**
 1775 PICKERING PARKWAY
 PICKERING, ON.

DRAWING
**UNDERGROUND FLOOR 01
 PHASE 5**

PROJECT NO. 06.037RZ	
PROJECT DATE 2025-10-06	
DRAWN BY VVA	
CHECKED BY RMM	
SCALE 1 : 250	

DRAWING NO. SPA162.2	REV.
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N70°52'50"E 256.297

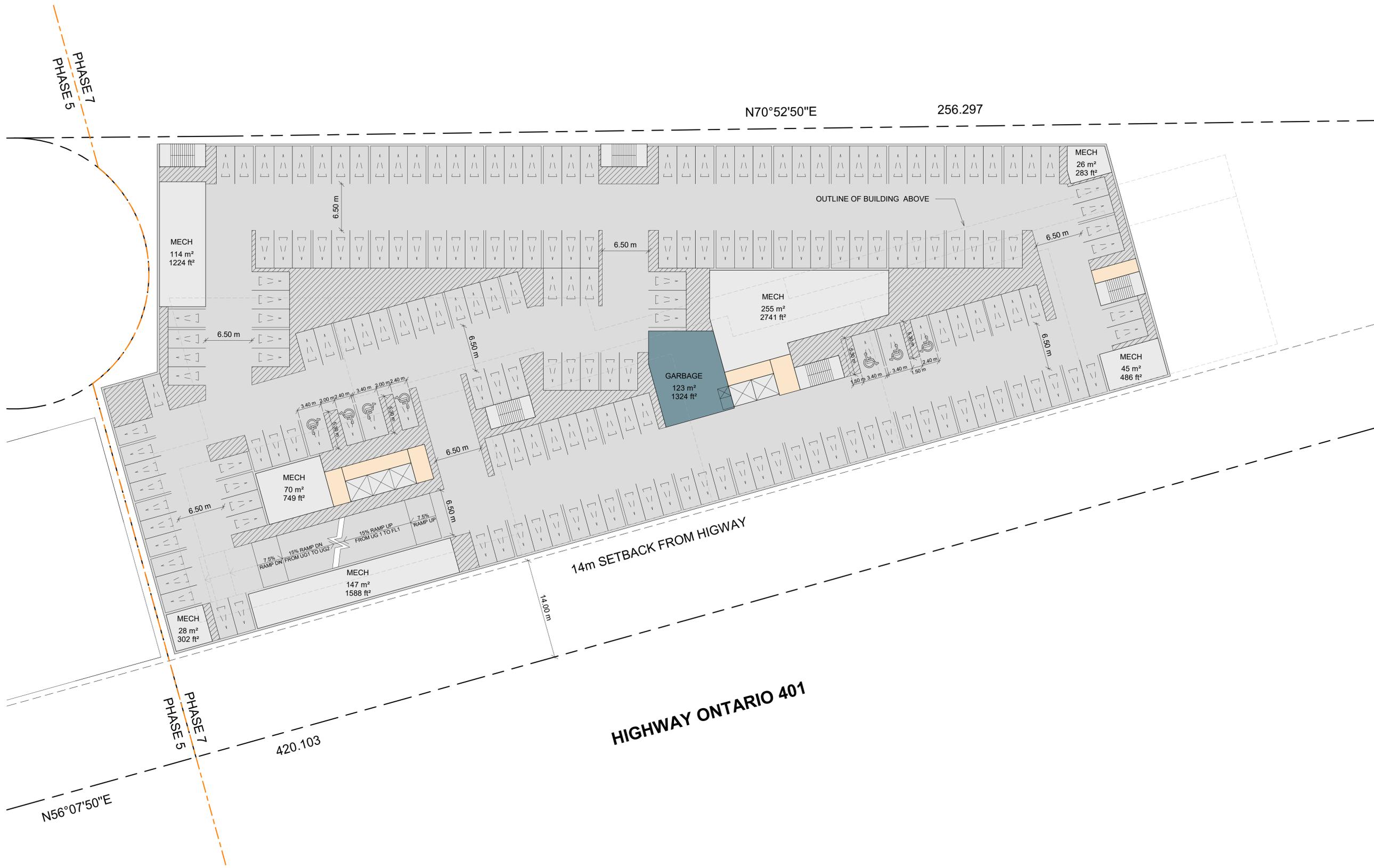
14m SETBACK FROM HIGHWAY

HIGHWAY ONTARIO 401

420.103

N56°07'50"E

#	DATE	DESCRIPTION	BY
PROJECT			
PICKERING DESIGN CENTRE MASTER PLAN			
1775 PICKERING PARKWAY PICKERING, ON.			
DRAWING			
UNDERGROUND 02 - 03 PHASE 7			
PROJECT NO.	06.037RZ		
PROJECT DATE	2025-10-06		
DRAWN BY	VVA		
CHECKED BY	RMM		
SCALE	1 : 250		
 ONTARIO ASSOCIATION OF ARCHITECTS RUSSELL L. FLEISCHER LICENCE 5004			
DRAWING NO.	SPA163.1	REV.	



#	DATE	DESCRIPTION	BY
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PROJECT
**PICKERING DESIGN CENTRE
 MASTER PLAN**
 1775 PICKERING PARKWAY
 PICKERING, ON.

DRAWING
**UNDERGROUND 01
 PHASE 7**

PROJECT NO.
06.037RZ
 PROJECT DATE
2025-10-06
 DRAWN BY
VVA
 CHECKED BY
RMM
 SCALE
1 : 250



DRAWING NO.	REV.
SPA163.2	

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LEGEND

-  PRIMARY RESIDENTIAL ENTRANCE
-  SECONDARY RESIDENTIAL ENTRANCE
-  RETAIL ENTRANCE
-  EXIT
-  PRIMARY ACTIVE AT GRADE FRONTAGES
-  SECONDARY ACTIVE AT GRADE FRONTAGES



#	DATE	DESCRIPTION	BY
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**PICKERING DESIGN CENTRE
 MASTER PLAN**
 1775 PICKERING PARKWAY
 PICKERING, ON.

**FLOOR 01
 PHASE 7**

PROJECT NO.
06.037RZ
 PROJECT DATE
2025-10-06
 DRAWN BY
VVA
 CHECKED BY
RMM
 SCALE
1:250



DRAWING NO. **SPA163.3** REV.

