

Planning Justification Report

1794 Appleview Road

City of Pickering

November 14, 2025





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Executive Summary

Planning Peace of Mind Services Inc. (PPOM) was contracted by Apcom Enterprises Inc. (Apcom) to review a redevelopment proposal of a residential property at 1794 Applevue Road in the City of Pickering. The development proposes to remove an existing detached dwelling and gravel driveway to support the creation of three residential lots each accommodating a two-storey detached dwelling off Goldenridge Road.

The property is a through lot located within the City of Pickering's Dunbarton Neighbourhood. This neighbourhood predominantly supports one to two-storey detached dwellings with minimum lot frontages of approximately 12.0 metres (39.37 feet).

The east portion of the property contains natural hazard features such as a floodplain and a long term stable top of slope as a result of Dunbarton Creek, which abuts the property to its northeast. The creek meanders around the property, eventually discharging into Frenchman's Bay, located approximately 900 metres southeast of the property. The east portion of the property also supports woodlands, a natural heritage feature containing a contiguous tree system in proximity to Dunbarton Creek.

The Toronto and Region Conservation Authority (TRCA) and the City of Pickering requested that the Owner conduct a Slope Stability Analysis, a Scoped Natural Heritage Evaluation (NHE) along with other supporting studies and plans to determine the extent of the natural hazard and natural heritage limits of the property. The findings of the study delineated the hazard and wooded areas on the property as well as included a 10-metre buffer from those features. The City and TRCA requests that all lands within those features be transferred into public ownership. Lands within the development limits of the property will accommodate tree replacement or cash-in-lieu in accordance with the City of Pickering's tree preservation and compensation policies.



Land use policies such as the 2024 Provincial Planning Statement (PPS, 2024), the Durham Regional Official Plan (DROP) and the City of Pickering Official Plan (POP) encourage residential intensification in stable residential neighbourhoods, provided that the development is in character with the surrounding neighbourhood and subject to the completion of various studies and plans as identified by municipalities, conservation authorities as well as other applicable specified and public commenting agencies. Based on our review of these policies, studies and plans, the proposed redevelopment of 1794 Applevue Road is consistent with the PPS, 2024, as well as conforms to the DROP and the POP.

The draft zoning by-law proposes to use the “R1-H” – Residential First Density Zone, with a site-specific Exemption Zone to permit a slight lot frontage reduction (from 12.0 metres to 11.5 metres) and minimum interior side yard widths (from 1.2 metres on both sides to 1.2 metres on one side and 0.6 metres on the other side). The interior side yard width reduction has already been established for existing residents along Goldenridge Road and is also recognized within the City’s Dunbarton Neighbourhood Development and Design Guidelines along new internal roads such as Goldenridge Road.

Based on the above, PPOM believes that the proposed development is appropriate for the neighbourhood and maintains good planning principles. As such, PPOM recommends that the proposed zoning by-law amendment be approved. Opportunities exist through the related consent/land division application process to review property-specific design details for the proposed development on matters such as, but not limited to the following:

- Draft Reference Plan (which includes various land conveyances and easements into public ownership);
- Preliminary Grading, Site Servicing and Drainage Plans;
- Restoration Plan; and
- Erosion and Sediment Control Plan.



1. Introduction

On behalf of our client Apcom Enterprises Inc. (Apcom), Planning Peace of Mind Services Inc. (PPOM) has prepared this Planning Rationale Report to the Corporation of the City of Pickering to support an amendment to the City of Pickering's Zoning By-law and related Consent/Severance applications to facilitate the creation of two additional residential lots (totaling 3 lots) at 1794 Appleview Road in the City of Pickering (referred throughout this report as "the property").

This Planning Rationale Report will review the following:

- The characteristics of the property and the proposed development;
- The current Provincial and Municipal land use policy and zoning framework;
- The supporting submitted materials and plans to support the zoning by-law amendment application; and
- Provide a conclusion on whether the proposed development is considered appropriate for the area and supports good planning principles.



2. Pre-Submission Consultation and Proposed Reliefs

2.1. Background

On January 16, 2024, PPOM and Apcom consulted with the Toronto and Region Conservation Authority (TRCA) staff to discuss the likelihood of accommodating three residential lots for detached dwellings on the subject property. As part of TRCA's Concept Development Application Form process, TRCA requested the completion of the following technical studies to determine the development limits (lands outside of significant natural heritage and natural hazard features) of the property:

- A slope stability analysis;
- An updated flood line evaluation associated with the Dunbarton Creek; and
- A woodlands dripline limit assessment.

At the time, TRCA staff advised that an update to their Frenchman's Bay floodplain mapping was expected by the spring of 2024. TRCA completed their floodplain mapping update, which revealed a reduction to the regulatory floodplain elevation within the vicinity of the property from 94.94 meters above sea level (masl) to 93.43 masl and a stream velocity of 0.18 metres per second (m/s).

In accordance with Chapter 16 – Development Review of the City of Pickering Official Plan, PPOM and Apcom participated in two virtual Pre-Submission Consultation meetings (May 9, 2024, and April 23, 2025). The meetings were held by City staff and also attended by TRCA staff. Durham Region staff also provided input on the development proposal and supporting materials required for review and comment.

2.2. Initial Pre-Submission Consultation

The initial Pre-Submission Consultation meeting reviewed the possibility of severing the property to create two 17.3 metre residential lots off



Goldenridge Road, while retaining a residential lot with an existing detached dwelling off Appleview Road. There was an understanding that the northeast corner of the property would be transferred to public ownership.

Following the meeting, TRCA advised that their physical staking of the long-term stable top of slope (LTSTOS) and the completion of their updated floodplain model for the Frenchman's Bay floodplain demonstrated that the initial proposal to retain a lot off Appleview Road could not be supported since the natural hazard area (the sloped area leading into the Dunbarton Creek) plus a 10 metre buffer from these features could not provide safe ingress and egress to the retained lot.

2.3. Ontario Regulation 41/24

On April 1, 2024, the Province of Ontario issued Ontario Regulation 41/24, which made changes to the *Conservation Authorities Act*. One of which removed the ability for Conservation Authorities (e.g., TRCA) to review and provide comments on woodland/tree dripline assessments and transferred this responsibility to municipalities. This change amongst others is intended to streamline the development process. It is our understanding that the City of Pickering will develop a procedure overtime to standardize its review on woodlands dripline limits.

2.4. Second Pre-Submission Consultation

PPOM and Apcom revised the conceptual plan and participated in a second Pre-Submission Consultation meeting with City, TRCA staff, with input from Durham Region staff. The updated plan proposed three 11.53-metre residential lots off Goldenridge Road, (see [Figure 25](#)). Hazard lands identified through TRCA's updated floodplain model mapping, TRCA's approved slope stability analysis, and their staked woodlands dripline limits (prepared prior to April 1, 2024), plus a 10-metre buffer from these hazard lands and natural features.

The results of the pre-consultation meeting determined that the following planning applications and the associated site-specific reliefs as well as the



submission material requirements are required to support the proposed development.

Planning Applications:

- Zoning By-law Amendment
 - To rezone the property from 'R1D' – Residential First Density Zone to 'R1H' – Residential First Density – H Zone and 'EP' – Environmental Protection with an exception to the 'R1H' zone to permit the following amending zoning provisions
 - Minimum Lot Frontage of 11.5 m; and
 - Minimum Interior Side Yards of 1.2 m on one side, 0.6 m on the other side (please note that this relief was included following the pre-consultation meeting but is consistent with the Dunbarton Neighbourhood Development Design Guidelines).

The intent of the rezoning application is to establish zoning performance standards in character with other adjacent properties along Goldenridge Road as well as the City's Dunbarton Neighbourhood Development and Design Guidelines.

- Consent/Land Division (two applications)
 - To sever and create a total of three residential lots (two severed and one retained) with frontage off Goldenridge Road, as well as to convey lands identified as natural hazards and features to public ownership.

Supporting Documents:

- Functional Grading Plan;
- Site Grading Plan;
- Slope Stability Report;
- Site Screening Questionnaire or Phase One Environmental Site Assessment;



- Scoped Natural Heritage Evaluation (including a woodland dripline limit assessment);
- Archaeological Site Assessment;
- Draft Zoning By-law and Schedule;
- Planning Rationale and Urban Design Brief;
- Integrated Sustainable Design Standards;
- Site Plan;
- Topographical Survey;
- Survey (including Georeferenced Drawings); and
- Conceptual Building Elevations.

The City's Record of Pre-Consultation is provided under separate cover with our application package.

As noted above, the Scoped Natural Heritage Evaluation will be reviewed in detail by City of Pickering staff. The City has advised that it will hire an Ecological peer review consultant to review this study. The City has advised that once the dripline limit for the property is established, a 10-metre buffer must also be included from this limit. These factors may alter the final location of the rear lot lines. Under Section 5.1 of this report, GeoProcess Research Associates Inc. has provided a Scoped Natural Heritage Evaluation report which establishes the woodland dripline limit for this property. Apcom and its consultants will work closely with City staff to finalize the limits of the natural hazards and features areas on the east side of the property before City staff prepares a recommendation report on the zoning by-law amendment to City of Pickering Council.



3. Neighbourhood Scan

This section provides a neighbourhood scan of the property and surrounding area based off Google Street Map 2025 Imagery and observations made on various site visits conducted, most recently on October 31, 2025.

3.1. Property Characteristics

The property is located on the west side of Appleview Road, across from Spartan Court, approximately 340 metres north of Dunbarton Road. The property is located within Pickering's Dunbarton Neighbourhood. The property is legally described as Part of Lot 26, Concession 1, Lot 57, Registrar's Compiled Plan (RCP) 1051 and is also identified for taxation purposes as Assessment Roll Number 1801 010 0181 18000.0000.



Figure 1: Google Imagery of 1794 Appleview Road and Surrounding Area



According to the Surveyor's Real Property Report and our site visit conducted in the neighbourhood (most recently on October 26, 2025), the property is a through lot containing a vacant one-and-a-half storey detached dwelling with frontages off Applevue Road and Goldenridge Road.



Figure 2: Photos of Existing Dwelling

The property also supports the following characteristics:

- A lot area of 3,184 square metres (m2) or 34,272.29 square feet (ft2);
- An average lot depth of 97.17 metres (m) or 318.78 feet (ft);
- Linear lot frontages of approximately 34.67 m (113.75 ft) off Applevue Road and Goldenridge Road; and
- A 0.3 m (1 ft) reserve along its western frontage that abuts Goldenridge Road, prohibiting vehicular access onto the property.

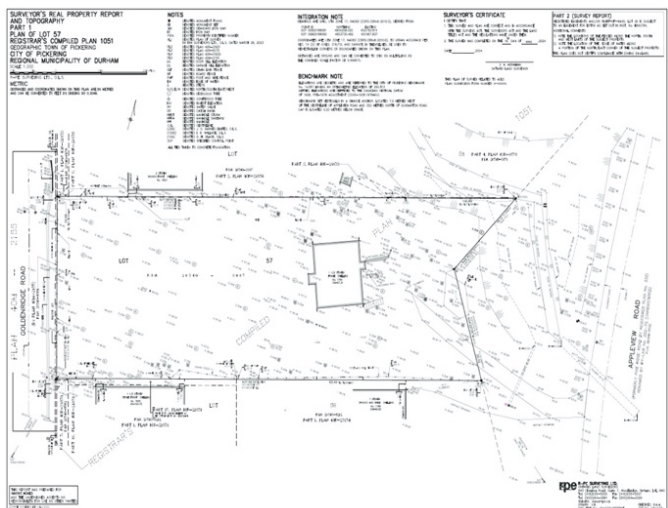


Figure 3: Surveyor's Real Property Report
1794 Applevue Road



The Applevue Road frontage is arrow-shaped with a total lot frontage of 41.14 m (134.97 ft). Dunbarton Creek abuts the property to its northeast, and east briefly parallel to Applevue Road. North and south of the property, the creek meanders north and southeast across Applevue Road respectively before emptying into Frenchman's Bay located approximately 900 m downstream.

3.2. Neighbourhood Characteristics

According to Google Street Imagery and observations made, the predominant land uses surrounding the property are residential detached dwellings with minimum lot frontages of approximately 18.0 metres along Applevue Road and approximately 12.0 metres (or greater) along newer internal roads such as Goldenridge Road and Spartan Court. Google Imagery also discovered evidence of home-based businesses throughout the neighbourhood.

The Canadian National Railway (CN Rail) corridor, Kingston Road and Highway 401 are located approximately 370 metres, 500 metres, and 550 metres respectively south of the property.



Figure 4: Google Street Imagery of Surrounding Neighbourhood

The following four pages provide photos of our site visit, which observed various land uses and built forms adjacent to the property.



North – Dunbarton Creek and residential (detached dwellings)



Figure 5: Surrounding Land Uses
North of 1794 Appleview Road



East – Dunbarton Creek, Spartan Court and residential (detached dwellings)



Figure 6: Surrounding Land Uses
East of 1794 Applevue Road



South – Residential (detached dwellings)



Figure 7: Surrounding Land Uses
South of 1794 Applevue Road



West – Residential (detached dwellings)



Figure 8: Surrounding Land Uses
West of 1794 Appleview Road



4. Provincial Land Use Planning Policy Framework

This section analyses the current land use policies and zoning by-laws applicable to this development proposal. [Section 5](#) of this report demonstrates how the materials requested by the City of Pickering, the Toronto and Region Conservation Authority and other commenting agencies will support the proposed development. [Section 6](#) concludes by providing a planning analysis which demonstrates how the proposed development is consistent with and conforms to the applicable Provincial and Municipal land use policies.

4.1. Provincial Planning Statement (2024)

The Provincial Planning Statement (PPS, 2024) provides policy direction on matters of provincial interest across Ontario related to land use planning and development. Land use policies within the PPS, 2024 are in place to enhance the quality of life by building strong and healthy communities for all Ontarians. The PPS, 2024 is also complemented by provincial plans or by locally-generated policies regarding matters of municipal interest through the development of local official plans and zoning by-laws.

Settlement Areas

In accordance with the Regional Municipality of Durham and the City of Pickering Official Plan land use policies, the property is located within a Settlement Area. Settlement areas are defined as urban areas and rural settlement areas which include cities, towns, villages and hamlets. These areas are the focus of growth and development based on densities and a mix of land uses, which:

- Efficiently use land and resources;
- Optimize existing and planned infrastructure and public service facilities;
- Support active transportation;
- Are transit-supportive, as appropriate; and
- Are freight supportive (Policy Reference 2.3.1.2).



Settlement areas support general intensification and redevelopment to support the achievement of complete communities, including by planning for a range and mix of housing options and prioritizing planning and investment in the necessary infrastructure and public service facilities (2.3.1.3).

Natural Heritage

The PPS, 2024 requires development proposals and municipalities to protect natural features for the long term (4.1.1). Development and site alteration shall not be permitted in significant woodlands unless it can demonstrate that there will be no negative impacts on the natural features or their ecological functions [4.1.5.b)].

Natural Hazards

The PPS, 2024 requires Planning authorities in collaboration with conservation authorities such as the Toronto and Region Conservation Authority (TRCA) to identify hazardous lands and hazardous sites and manage development in these areas, in accordance with provincial guidance. (5.2.1). Development shall generally be directed to areas outside of hazardous lands adjacent to rivers, streams (e.g., Dunbarton Creek) and small inland lake systems which are impacted by flooding hazards and/or erosion hazards [5.2.2.b)]. In addition, development and site alteration shall not be permitted within the following:

- Areas that would be rendered inaccessible to people and vehicles during times of flooding hazards, erosion hazards and/or dynamic beach hazards, unless it has been demonstrated that the site has safe access appropriate for the nature of the development and the natural hazard; and
- A floodway regardless of whether the area of inundation contains high points of land not subject to flooding.

Cultural Heritage and Archaeology

The PPS, 2024 requires Planning authorities to prevent development and site alteration on lands containing archaeological resources or areas of archaeological potential unless the significant archaeological resources have been conserved (4.6.2).



Human-Made Hazards

The PPS, 2024 also requires municipalities to ensure that sites with contaminants in land or water be assessed (e.g., through a Site Screening Questionnaire or Environmental Site Assessment) and remediated as necessary prior to any activity on the site associated with the proposed use such that there will be no adverse effects.

4.2. Durham Regional Official Plan (December 13, 2024)

The Durham Regional Official Plan (DROP) also known as Envision Durham integrates a long-term policy framework that guides decision making on land use planning matters over its eight Area Municipalities, including the City of Pickering until the year 2051. These matters consist of but are not limited to: development; growth management; delivery of infrastructure; services and related matters.

By 2051, the DROP forecasts a population of 1,300,000 people residing in Durham Region, with 256,370 (19.7%) of the population residing in the City of Pickering.

The DROP was recently updated and approved by the Ministry of Municipal Affairs and Housing (MMAH) to ensure consistency with the Provincial Planning Statement (PPS) and conformity with other provincial plans, such as the Greenbelt Plan and the Oak Ridges Moraine Conservation Plan. All land use decisions made within Durham Region must conform to the DROP.

Regional Structure

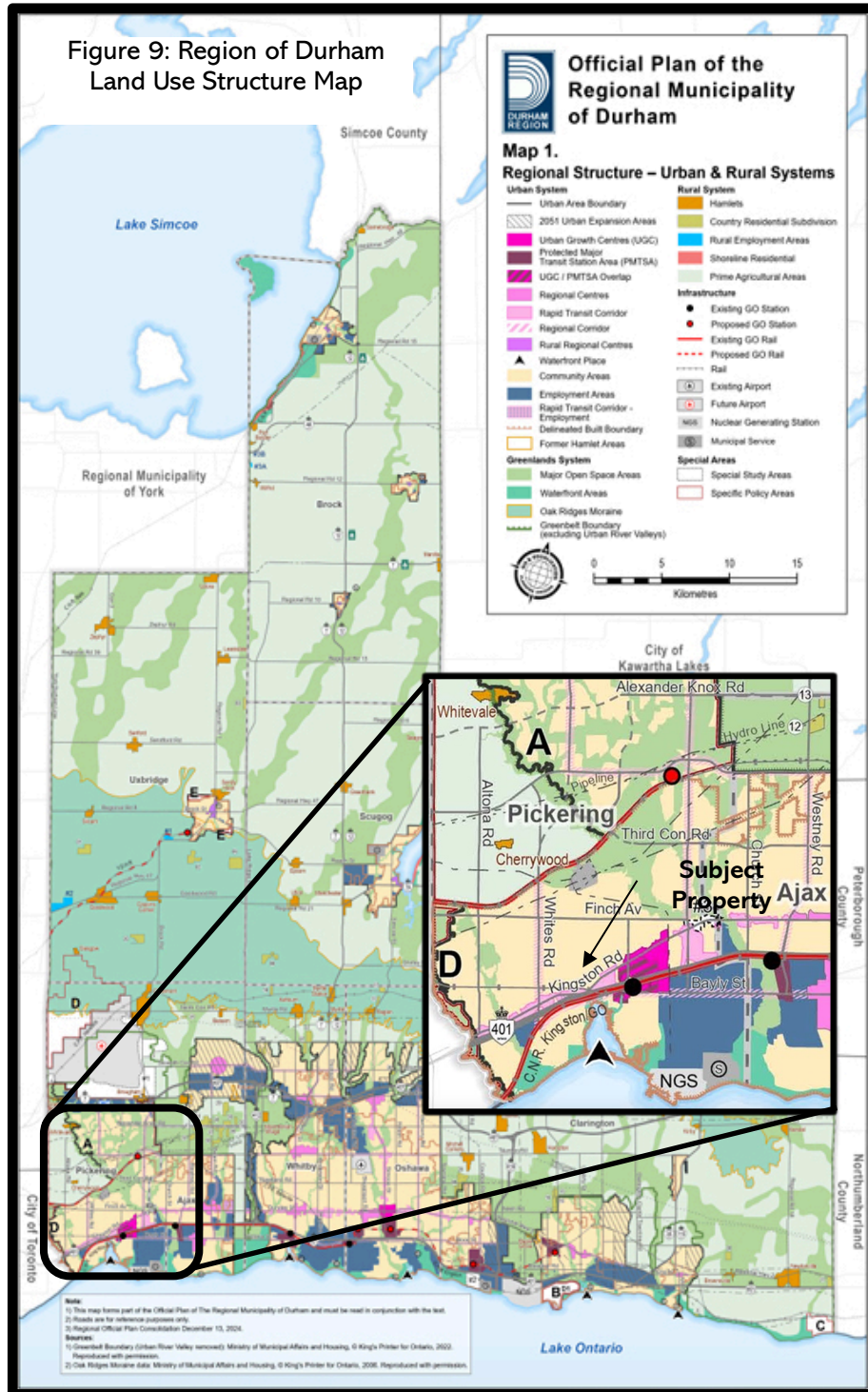
Map 1 of the DROP – Regional Structure – Urban & Rural Systems designates the property as Community Areas. Community Areas are to be developed as complete communities, which provide a range of housing, transportation and lifestyle choices, while creating opportunities for residents to live, shop, work and access services and amenities within their community (Policy Reference 5.4.i.). Community Areas are typically comprised of the following land uses:



- A variety of housing types, sizes and tenures within connected neighbourhoods;
- Commercial (e.g., retail shopping and personal service uses, offices, institutional uses);
- Community; and
- Public service facilities (e.g., schools, libraries, and hospitals); recreational.



Figure 9: Region of Durham
Land Use Structure Map

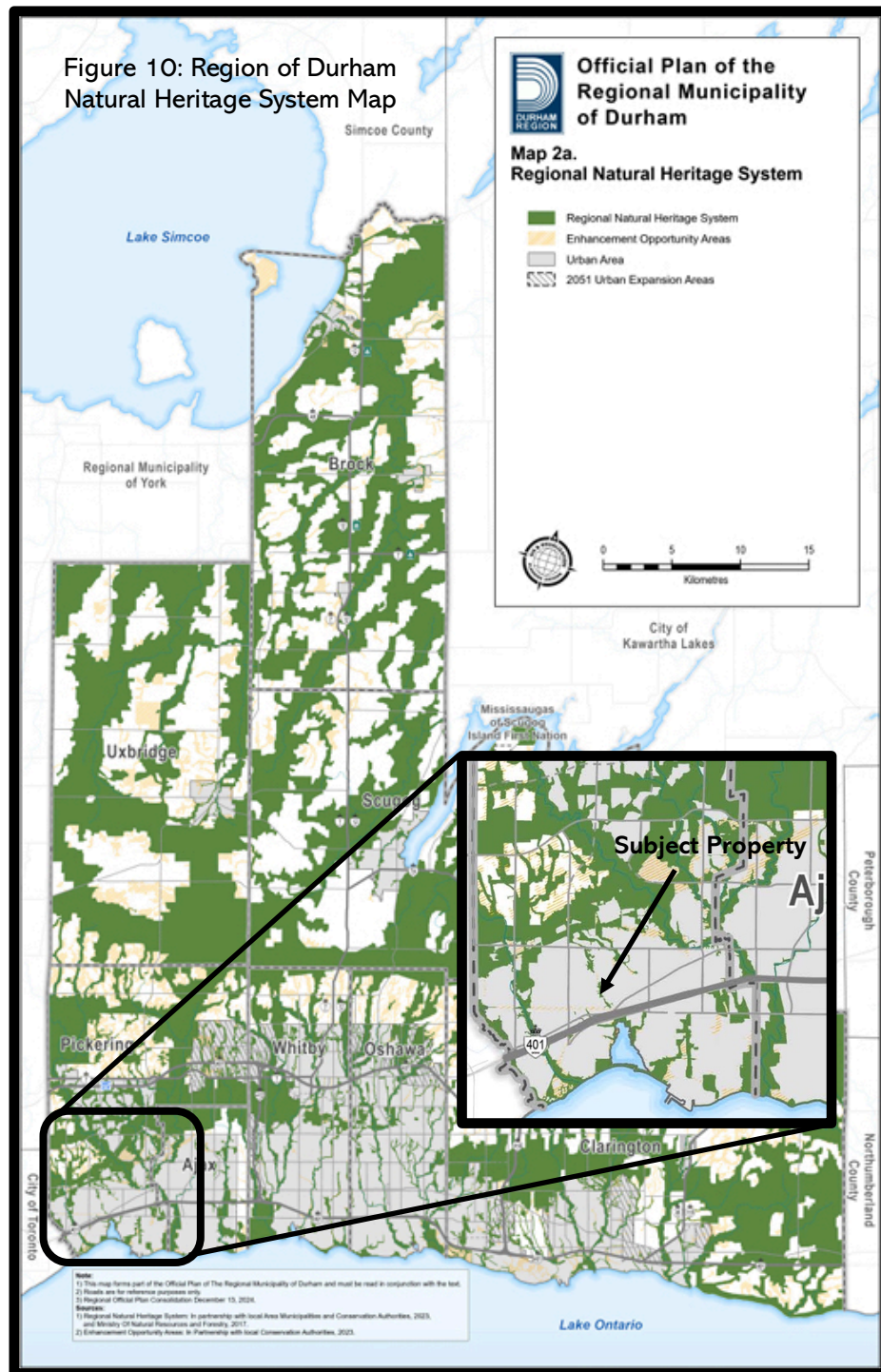




Greenlands System – Regional Natural Heritage System

Map 2a. of the DROP – Greenlands System – Regional Natural Heritage System identifies the east portion of the property as part of the Regional Natural Heritage System (RNHS). The RNHS is an overlay that identifies a system of core natural features and the land and water that links these core features together. The purpose of the RNHS is to protect, enhance and restore the long-term ecological integrity and climate change resiliency of the Region (7.4). These areas are also identified in other land use policy documents, including but not limited to the City of Pickering's natural heritage systems as well as identified key natural heritage features and key hydrologic features and the linkage systems that connect these features in a system (7.4.1).

Development and site alteration within the RNHS for residential purposes is prohibited (7.4.4), however, refinements to the RNHS outside of provincial natural heritage system areas may be considered through an approved planning application(s) and associated technical studies, without an amendment to the DROP (7.4.2). For development proposals located within 120 metres of the RNHS requires an environmental impact study/natural heritage evaluation to determine the significance and extent of the feature as well as include protective buffers from the feature (7.4.5). Where refinements are considered, the City of Pickering Official Plan shall include policies that protect the RNHS as well as those that identify enhancement areas and linkage areas, where appropriate (7.4.3).

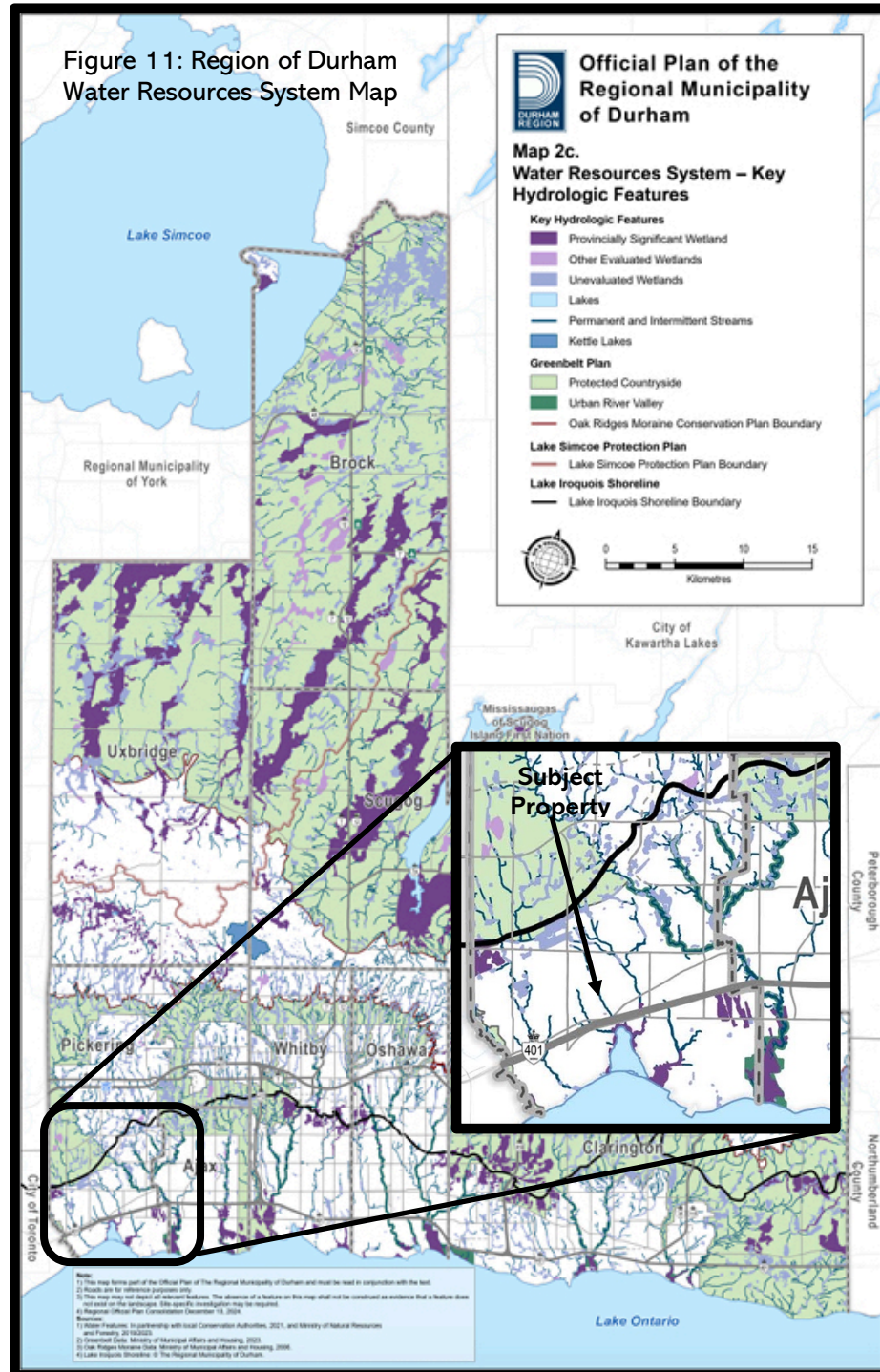




Greenlands System – Water Resources System – Key Hydrologic Features

As part of the RNHS, Map 2c. of the DROP – Greenlands System – Water Resources System – Key Hydrologic Features also identifies the east portion of the property as a Key Hydrologic Features associated with the Dunbarton Creek. The Dunbarton Creek serves as a Permanent and Intermittent Stream within the City of Pickering's urban area and are subject to the policies of the Provincial Planning Statement (PPS) to ensure its protection, restoration and enhancement as well as the linkages between them to ensure the Region's long-term ecological integrity (Policy 7.4.9).

Development and/or site alteration for residential purposes is also prohibited in Key Hydrologic Features, including any associated vegetation protection zone (7.4.11). Consideration of development and/or site alteration proposals in proximity to either a key natural heritage feature and/or key hydrologic feature must include an environmental impact study/natural heritage evaluation as part of a complete application.





4.3. City of Pickering Official Plan

Similar to the Durham Regional Official Plan (DROP), the City of Pickering Official Plan (POP) integrates a long-term policy framework that guides decision making on land use planning matters that are specific to the City of Pickering and its 21 Urban Neighbourhoods, including the Dunbarton Neighbourhood, which is the neighbourhood the property is located within. All land use decisions must conform to the POP, the DROP, and provincial land use policies applicable to the City of Pickering.

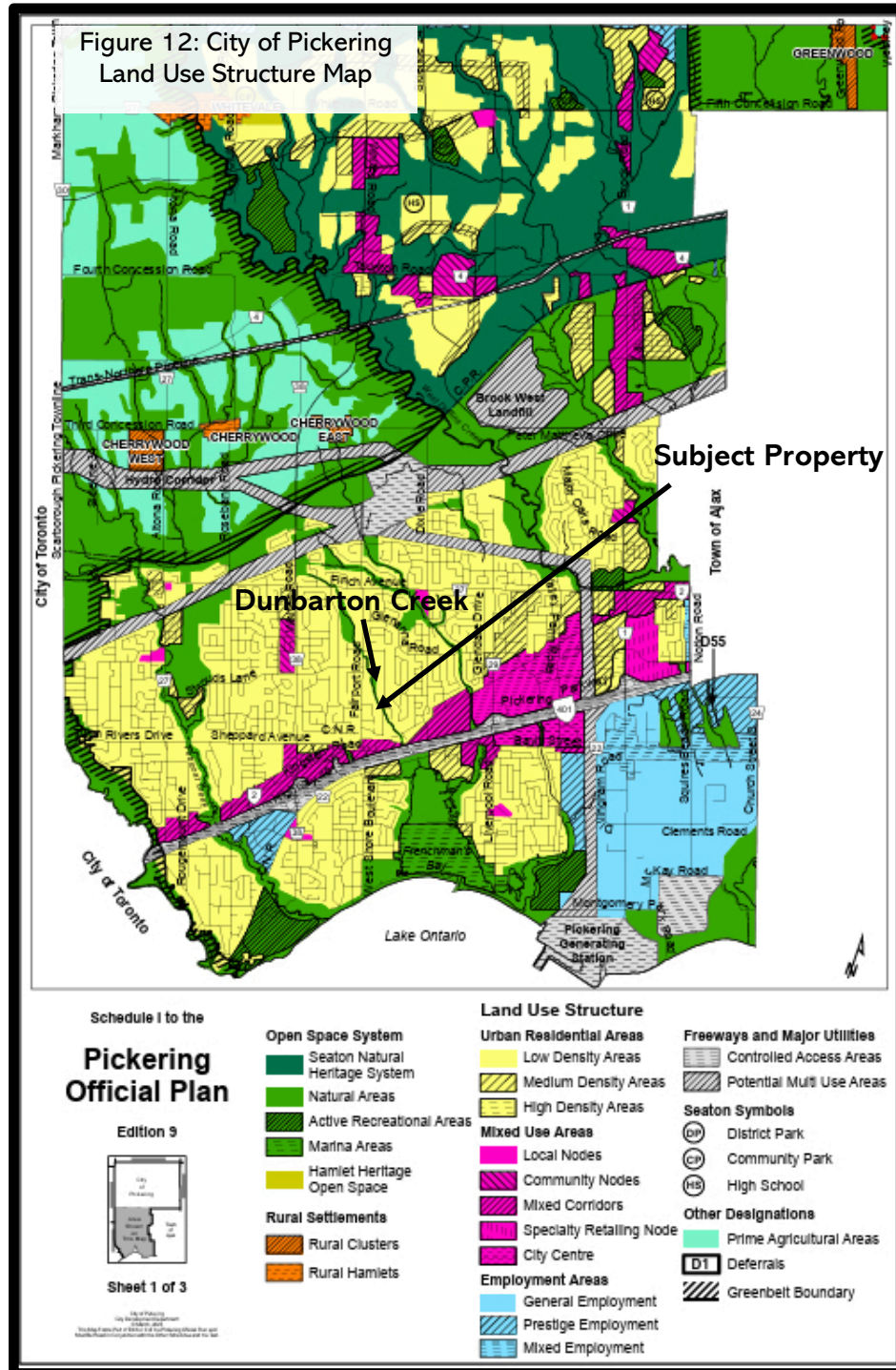
According to the City of Pickering's 20 Year Population & Housing Unit Forecast, by 2043, it forecasts a population target of 177,696, with 4,142 (2.3%) of Pickering's population residing in the Dunbarton Neighbourhood.

The City of Pickering is currently undertaking an update to its official plan called "Pickering Forward." Pickering Forward will provide an updated land use policy framework for the City until the year 2051. It is our understanding that engagement with the community and various agencies are still ongoing. Once Pickering Forward is completed and adopted by Pickering Council, it will be forwarded over to the Ontario Ministry of Municipal Affairs and Housing (MMAH) for approval. Once MMAH approves Pickering Forward, the updated plan will revoke the DROP.

The POP identifies a range of land use designations across the City and has established a range of permissible land uses within each designation at a site-specific level.

Land Use Structure

Schedule I to the POP – Land Use Structure dual designates the property as Urban Residential – Low Density Areas and Open Space System – Natural Areas in proximity to Dunbarton Creek.





Land Use Structure – Urban Residential, Low-Density Areas

Urban Residential Areas are intended primarily for the following:

- Housing and related uses and activities, including group homes and home occupations [Policy 3.9(a)];
- Having regard for protecting and enhancing the character of established neighbourhoods (e.g., the consideration of building height, yard setbacks, lot coverage, access to sunlight, parking provisions and traffic implications) [3.9(c)(i)]; and
- Restricting net residential densities to less than the maximums in response to the Neighbourhood Plan provisions, or where neighbourhood character and/or environmental constraints warrant [3.9(c)(ii)].

As noted above, the property is located within a low density area, which permits a maximum net residential density of up to and including 30 units per net hectare or the equivalent of one dwelling unit per minimum lot area of 333 square metres (m²) or 3,588 square feet (ft²) (Table 9 of the Pickering Official Plan).

The POP defines “net residential density” *as the total number of dwellings per hectare of net residential site area and shall not consider accessory dwelling units as dwelling units for the purpose of calculating density* [3.4(a)].

The POP also defines “net residential site area” *as the total area of land within a development proposal that is designated for residential and ancillary purposes by this Plan, which for draft plans of subdivision, includes the total residentially-designated area of all residential lots in the plan, but excludes public roads and widenings, public parks, non-developable land, school sites and similar public land areas* [3.4(b)(i)].

In context, the development for three dwellings on the property over 2,153.66 m² (23,181.8 ft²) propose a net residential density of approximately 14 (13.93) dwelling units per net hectare, which is within Pickering’s residential low-density area requirements.



Land Use Structure – Open Space System, Natural Areas

The POP recognizes the Open Space System as a connected and integrated natural heritage system with significant valleylands and stream corridors; shorelines, areas of natural and scientific interest, wetlands, significant woodlands, major parks, recreational and conservation areas, marina areas as well as other major blocks of land throughout the City [3.5(a)]. Open Space Systems shall recognize that it includes key natural heritage and key hydrologic features, which have related minimum areas of influence and minimum vegetation protection zones [3.5(c)]. Permissible land uses within Natural Areas include, but are not limited to the following:

- Conservation;
- Environmental protection;
- Restoration;
- Education; and
- Passive recreation such as, but not limited to nature trails, biking, outdoor education, picnicking etc. (Table 3).

Within Natural Areas, development or site alteration may only be permitted in key natural heritage and/or key hydrologic features for the following purposes:

- Forest, fish and wildlife management;
- Conservation and flood and erosion control and other similar environmental protection and restoration projects demonstrated to be necessary in the public interest and after all alternatives have been considered; and
- Minor recreational and education uses such as non-motorized trails, footbridges and picnic facilities. (Table 3);

We anticipate that the east portion of the property that is expected to be transferred into public ownership will be rezoned as an Environmental Protection Zone that will accommodate some of the above-noted land uses found in open space systems.



Transportation System

Schedule II to the POP – Transportation System identifies Applevue Road and Goldenridge Road as a “Collector Road” and “Local Road” respectively. The POP characterizes Collector and Local Roads as supporting the following characteristics [4.10(c)(i)]:

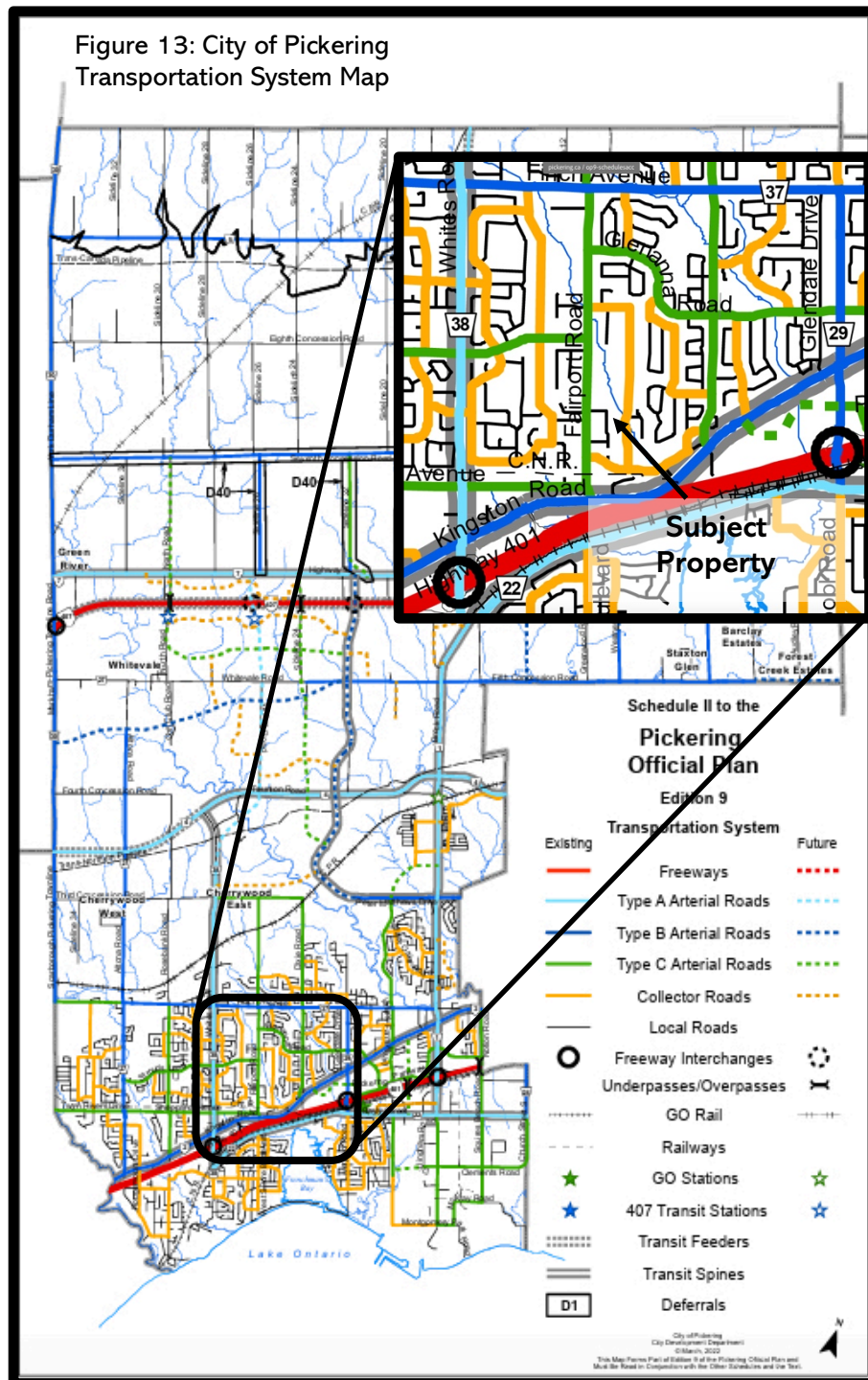
Table 1: Pickering Collector and Local Road Characteristics

Characteristics	Collector Roads	Local Roads
Access Points	Generally to individual properties, local roads, other collector roads and Type ‘C’ Arterial Roads	Generally to individual properties, other local roads and collector roads
Traffic Volumes	Greater than local roads, including automobiles, pedestrians, bicycles and transit	Designed to carry local traffic
Road Right-of-Way Width	Generally ranging from 20 to 22 metres	Generally up to 20 metres in residential areas

To ensure that Goldenridge Road maintains a sufficient right-of-way width, Pickering staff requests that a 2.6-metre road widening across the Goldenridge Road frontage on the west side of the property be transferred to the City through the land division/consent process.



Figure 13: City of Pickering
Transportation System Map





Resource Management

The POP resource management strategy promotes the stewardship of resources for existing and future generations through public and private actions. The City of Pickering in partnership with other agencies and individuals shall ensure the protection, conservation and enhancement of the City's natural heritage features and functions, water, air, energy and other resources, as well as ensure the protection of people and property from environmental hazards (10.1). Some of the City's resource management objectives include, but are not limited to the following:

- Identifying key natural heritage and key hydrologic features and areas to be protected and enhanced, and risk areas requiring special attention [10.2(a)];
- Protecting and enhancing important key natural heritage and key hydrologic features and areas as part of the Natural Heritage System [10.2(b)];
- Protecting people and property from environmental hazards [10.2(c)]; and
- Encouraging the managed use and conservation of natural resources and encouraging public and private conservation efforts [10.2(d)].

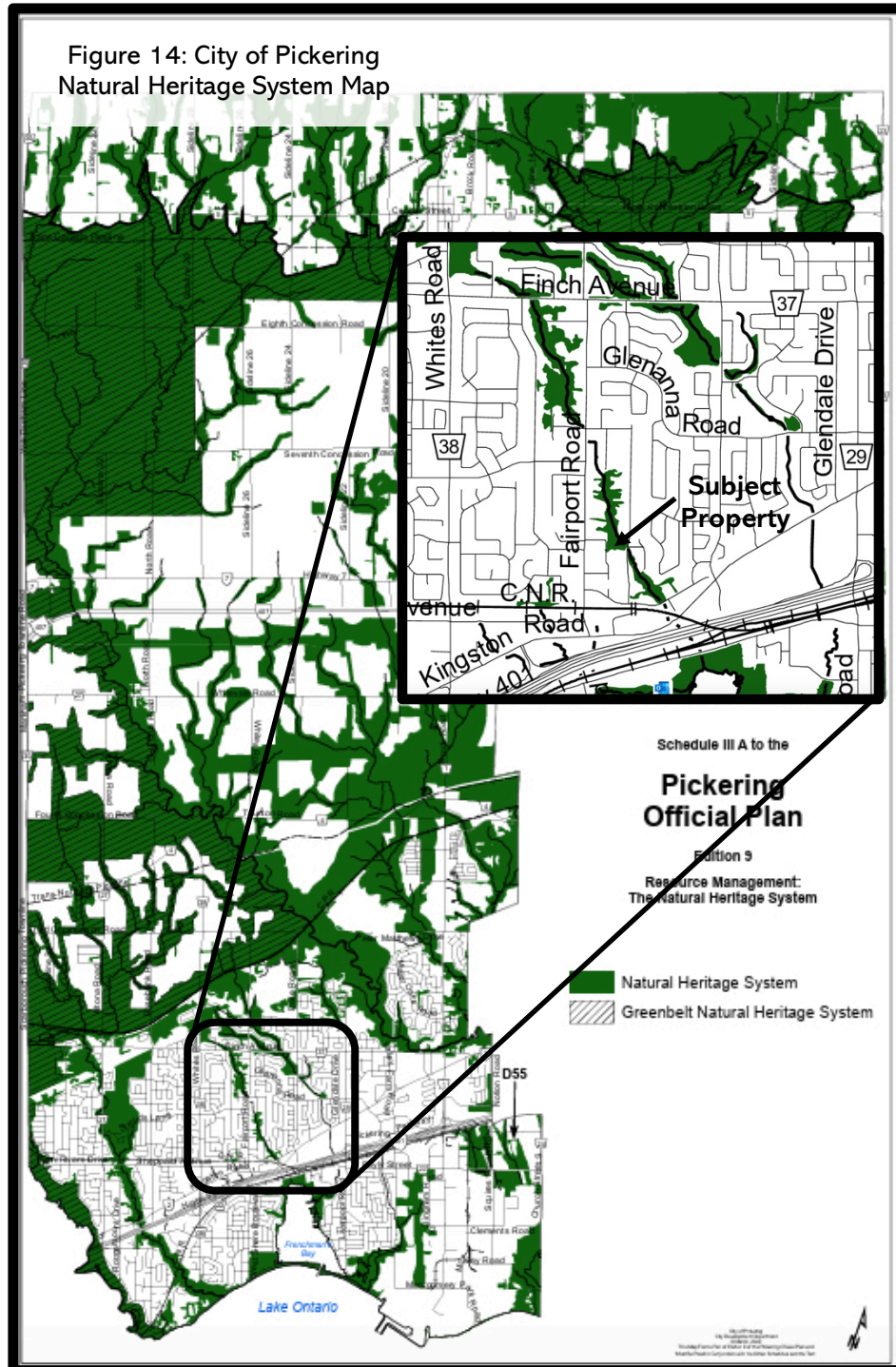
Where development is proposed, the POP encourages restoration planting and in other areas naturalized vegetation protection zones adjacent to key natural heritage and key hydrologic features amongst other land stewardship practices [10.3(c)].

Resource Management – Natural Heritage System

Schedule IIIA of the POP identifies lands on the east portion of the property in proximity to the Dunbarton Creek as part of the "Natural Heritage System" (NHS). The POP encourages the protection of the NHS to support ecological integrity, including healthy terrestrial and aquatic ecosystems. Lands with the highest concentration of the most sensitive and/or key natural heritage and key hydrologic features and functions are identified on Schedules IIIB, IIIC and IIID of the POP (10.6).



Figure 14: City of Pickering
Natural Heritage System Map





Resource Management – Key Natural Heritage and/or Hydrologic Features

Schedules IIIB and IIIC of the POP identifies areas containing Key Natural Heritage Features and Key Hydrologic Features on the property due to its proximity to Dunbarton Creek. These areas are further identified on Schedules IIIB and IIIC as “Significant Woodlands” and a “Stream Corridor” within Pickering’s Urban Area.

The POP defines Key Natural Heritage Features as *“the significant habitat of endangered species, threatened species and special concern species, fish habitat, wetlands, Areas of Natural and Scientific Interest, significant woodlands, significant valleylands, significant wildlife habitat, sand barrens, savannah and tallgrass prairies, and alvars.”*

The POP defines Significant Woodlands as *“an area which is ecologically important in terms of features such as species composition, age of trees and stand history; functionally important due to its contribution to the broader landscape because of its location, size, or due to site quality, species composition, or past management history.”*

Within Key Natural Heritage and/or Hydrologic Features, Table 18 of the POP requires that any consideration of a rezoning (i.e., major development) proposal located within 120 metres from a key natural heritage feature (also known as a Minimum Area of Influence) must complete an Environmental Report and any other supporting report/materials prepared to the satisfaction of the City of Pickering, in consultation with the Toronto and Region Conservation Authority, where appropriate [16.8(a)].

As part of the preparation of any studies, where significant woodlands and urban stream corridors are identified within Key Natural Heritage and/or Hydrologic Features on a property, the studies must identify the property's development limits, which excludes significant woodlands and a minimum of 10 metre buffer [also known as a Minimum Vegetation Protection Zone (VPZ)] from the greater of the following:



- The woodland dripline limits;
- The long-term stable top of bank; and
- The floodplain (Table 18).

Supporting studies such as, but not limited to a Scoped Natural Heritage Evaluation and a Slope Stability Analysis were prepared for this development to determine the extent of key natural heritage and/or hydrologic features on this property. The findings of the supporting documents noted above will be described in detail throughout this report.



Figure 15: City of Pickering
Key Natural Heritage Features Map

**Schedule III B to the
Pickering
Official Plan
Edition 9**

**Resource Management:
Key Natural Heritage Features**

- Significant Woodlands
- Rouge-Duffins Wildlife Corridor
- Areas of Natural and Scientific Interest
- Former Lake Iroquois Shoreline
- Altona Forest Policy Area

Other Map Elements

- Oak Ridges Moraine Boundary
- Greenbelt Boundary



4.4. Dunbarton Neighbourhood Design Guidelines

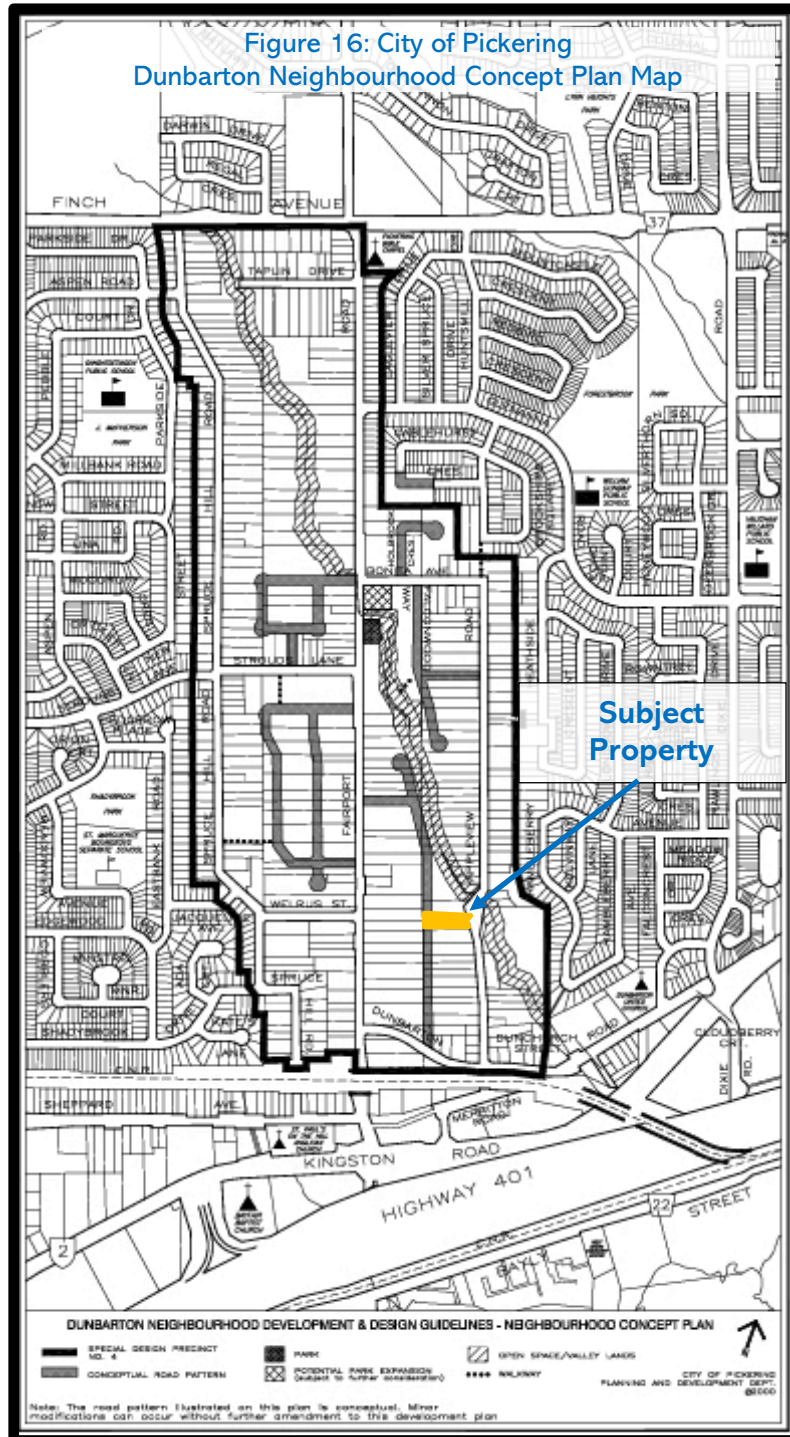
The City of Pickering has prepared a Compendium Document to its Official Plan. The Compendium Document acts similar to a secondary plan but focuses on Development Guidelines within most of Pickering's established urban neighbourhoods. In total, the City has developed 10 neighbourhood specific development guidelines, one of which is called the Dunbarton Neighbourhood Development Guidelines (DNDG), which is where this property is located within.

The DNDG were adopted by Pickering Council in 1996 and generally comprises of an area that extends west to Spruce Hill Road, north to Finch Avenue, south to the Canadian National Railway right-of-way, and east to various segments of Fairport Road/Applevue Road/Spartan Court. The Guidelines intend to ensure that development occurs in a manner that is appealing, orderly, and consistent with the character of the neighbourhood. The DNDG is further broken down to recognize different development and design characteristics that abut existing and new internal roads. For the purpose of this development proposal, Goldenridge Road is considered a new internal road since it was created and assumed by the City following the adoption of the DNDG. The development and design criteria for new internal roads in the DNDG are provided below:

- Permit only detached dwellings;
- Require minimum lot frontages of 12.0 metres, however consideration will be given to minimum 10.0 metre lot frontages at the ends of cul-de-sacs and other significant street curvatures;
- Maintain building setbacks consistent with recent subdivision standards
- Minimum front yard depths of 4.5 metres;
- Minimum side yard widths of 1.2 metres on one side, 0.6 metres on the other side; and
- Encourage new roads to connect with existing streets to minimize dead ends, in locations as generally shown on the DNDG concept plan.



Figure 16: City of Pickering
Dunbarton Neighbourhood Concept Plan Map





Other general guidelines for the Dunbarton Neighbourhood include the following:

- Establish maximum dwelling height of 9.0 metres (calculated from the average grade at front of dwelling);
- Minimize garage projections from front wall of dwellings to ensure high quality residential streetscapes;
- Permit detached garages in side or rear yards where appropriate;
- Provide sidewalks on at least one side of each street;
- Discourage reverse frontage lots, except where necessary due to grading constraints or for other technical reasons;
- Encourage preservation and planting of trees;
- Establish natural buffer adjacent to the Dunbarton Creek;
- Consider establishing pedestrian/bicycle paths, connected to other paths in neighbourhood (to be explored through the review of development applications); and
- Encourage continued “renaturalization” of the creek valley.

The DNDG requires that new development proposals comply with the above-noted development and design guideline criteria. The proposed development will comply with the criteria of the DNDG but will require minor relief from the lot frontage requirement (minimum 11.5 metres) to create three lots fronting off Goldenridge Road.

4.5. City of Pickering Zoning By-law

The City of Pickering Zoning By-law regulates all types of land uses and activities that may occur on a property or within buildings. The zoning by-law also establishes various performance standards such as, but not limited to: minimum lot area, frontage, yard setbacks as well as maximum building height and lot coverage.

On December 16, 2024, the City of Pickering updated its Zoning By-law (By-law 8149/24), which consolidated six separate parent zoning by-laws across the City into one zoning by-law.



R1D Zone

In accordance with the City of Pickering's newly consolidated Zoning By-law, the property is zoned "R1D" – Residential First Density. This zone permits a detached dwelling (amongst other land uses) on a lot. Other provisions applicable to this zone include, but are not limited to the following:

Table 2: "R1D" Zone Provisions

Lot Area	550.0 m ² (minimum)
Lot Frontage	18.0 m (minimum)
Front Yard Setback	7.5 m (minimum)
Side Yard Setback	1.8 m (minimum) one side; and 3.0 m (minimum) other side
Exterior Side Yard Setback	2.7 m (minimum)
Rear Yard Setback	7.5 m (minimum)
Lot Coverage	33% (maximum)
Building Height	9.0 m (maximum)



Figure 17: Current Zoning Codes Within Immediate Neighbourhood

Requested R1H Zone

At the April 23, 2025, pre-consultation meeting held by City of Pickering staff (file number PRE 06/25), City Planning staff noted that if City Council and its Committee of Adjustment approves the proposed development, that the “R1H” – Residential First Density Zone may be considered for this proposal. The “R1H” zone resembles performance standards along Goldenridge Road, which permits a detached dwelling on a lot accommodating the following zone provisions on the next page:



Table 3: “R1H” Zone Provisions

Lot Area	350.0 m ² (minimum)
Lot Frontage	12.0 m (minimum)
Front Yard Setback	4.5 m (minimum); and 6.0 m (minimum) vehicular entrance to an attached private garage
Side Yard Setback	1.2 m (minimum)
Exterior Side Yard Setback	2.7 m (minimum)
Rear Yard Setback	7.5 m (minimum)
Lot Coverage	38% (maximum)
Building Height	12.0 m (maximum)

As such, we request that the proposed development assumes the “R1H” zone classification. However, based on the layout of the proposed lots, we also request the following provision exceptions to the “R1H” zone as noted below:

Table 4: Requested “R1H” Zone Exceptions

Lot Frontage	11.5 m (minimum)
Side Yard Setback	1.2 m (minimum) one side; and 0.6 m (minimum) other side



Exception 135 to Zoning By-law 8149/24 contains zoning provisions applicable for adjacent properties along Goldenridge Road, which were previously zoned “S3-7” under Restricted Area Zoning By-law 3036, as further amended by By-laws 6027/02 and 6113/03. These provisions are currently applicable and are established along the north segment of Goldenridge Road.

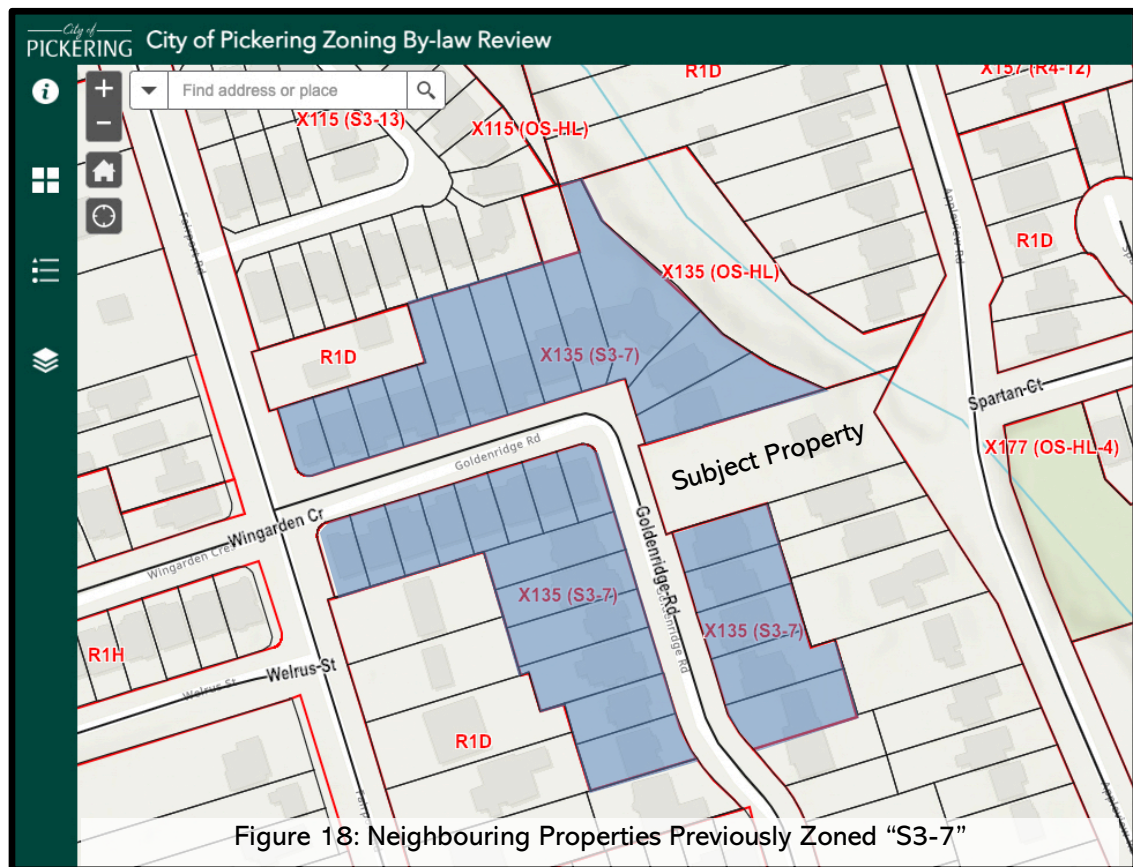


Figure 18: Neighbouring Properties Previously Zoned “S3-7”

The zone provisions of existing residential development under Exception 135 resemble the current “R1H” Zone other than the side yard width requirements, where the previous “S3-7” zone permitted a reduced side yard setback of 1.2 metres on one side and 0.6 metres on the other side. The proposed development requests to include the side yard setback provisions under the



“S3-7” zone, which is already established along Goldenridge Road and currently recognized within the Dunbarton Neighbourhood.

Requested EP Zone

As noted throughout our report, the City of Pickering and the Toronto and Region Conservation Authority (TRCA) has identified natural heritage and natural hazard features on the east portion of the property as a result of Dunbarton Creek. To support this development, various studies were conducted to establish the development limits and create a 10-metre buffer from these features in accordance with Table 18 of the POP. Both the City and TRCA have requested that these features be appropriately rezoned through the zoning by-law amendment process and transferred to public ownership through the related consent/land division application process.

Section 11 of the City of Pickering Zoning By-law 8149/24 has established various Environmental Protection and Open Space Zones. After reviewing these zones, we believe that the Environmental Protection (EP) Zone is an appropriate zone to apply on the east portion of the property on areas consisting of natural heritage and/or natural hazard features. A copy of the draft zoning by-law is provided in [Appendix A](#) of this report.

4.6. The Living City Policies (November 28, 2014)

TRCA has created the Living City Policies (LCP) document to guide development proposals within its nine watersheds. The nine watersheds span across the Greater Toronto Area generally from Peel Region to Durham Region, including the City of Pickering and drain into Lake Ontario. According to TRCA Watersheds mapping, the property is located within the Lake Ontario Waterfront watershed.

Natural Systems

The LCP has established various environmental protection policies to protect, enhance, Natural Systems within its watershed over the long term. According to the LCP, the Natural System comprises of the following:



- Water Resources
- Natural Features and Areas
- Natural Hazards; and
- Potential Natural Cover and/or Buffers (Policy Reference 7.3).

For the purpose of this development, LCP's water resources policies do not apply.

Similar to the 2024 Provincial Planning Statement, Durham Regional Official Plan and the City of Pickering Official Plan, development and site alteration are not permitted in the Natural System for residential purposes [7.3.1.b)]. The boundaries of the Natural System are defined by the following:

- Maps/schedules in municipal official plans;
- TRCA Terrestrial Natural Heritage System Strategy Mapping;
- Technical reports prepared by the applicant of a development proposal in accordance with municipal requirements; and
- Site staking and mapping [7.3.1.e)].

Based on the above criteria, Natural Systems have been confirmed on the property in accordance with Policy 7.3.1.e) of the LCP.

Natural Systems

Where Natural Systems are identified, the LCP encourages municipalities and the development industry to protect and conserve its Natural System. Where opportunities exist, TRCA requests that all lands identified as part of its Natural System, including buffer areas (e.g., 10 metres for the purpose of this development) be transferred into public ownership [7.3.2.a)] .

It is our understanding that TRCA conducted a site visit on the property with the previous landowners. It is also our understanding that during the site visit, TRCA identified the long-term stable top of slope (LTSTOS) associated with the Dunbarton Creek, along with the woodland dripline limit as a result of existing woodlands on the property. TRCA identified a regulatory floodplain on the



east portion of the property. On April 1, 2024, TRCA updated its regulatory floodplain elevation mapping and noted a floodplain elevation and velocity of 93.43 metres above sea level (masl) and 0.18 metres per second respectively.

Based on their findings, TRCA requested that the following be completed to determine the extent of the natural features and hazard areas on the property:

- A slope stability analysis – to determine through modeling the location and extent of the LTSTOS;
- A woodland dripline assessment – to determine the extent of the existing contiguous woodland system along the Dunbarton Creek;
- A restoration plan – to remove all existing structures within TRCA's defined Natural System and restore the subject property to a natural state which includes plantings of native species; and
- An erosion and sediment control plan – to demonstrate that future construction will not create any adverse impacts within the Natural System.

TRCA also requested that a topographical survey be conducted to map out the LTSTOS and the woodland dripline limit, including TRCA's floodplain elevation as well as a 10 metre buffer from these features in accordance with Table 18 of the City of Pickering Official Plan and Policy 7.3.1.4 b) of TRCA's Living City Policy.

On April 1, 2024, the Province of Ontario passed Ontario Regulation 41/24, which transferred the responsibility for Conservation Authorities to review and assess the woodland dripline limit to municipal governments (e.g., the City of Pickering).

As part of this development proposal, a slope stability analysis, woodlands dripline assessment, and topographical survey were previously submitted to TRCA and the City of Pickering for review and comments. On July 25, 2025, TRCA reviewed the slope stability analysis and topographical survey and had no concerns with the submitted materials.



TRCA has considered deferring its requirements for a restoration plan as well as the erosion and sediment control plan as a condition of consent/land division through Pickering's Committee of Adjustment if Pickering City Council considers the rezoning application.

5. Submitted Materials

The City of Pickering has identified various supporting materials required as part of the City's review of this development proposal. The supporting materials listed below are as follows:

Materials in Support of the Zoning By-law Amendment Application

- Planning Rationale and Urban Design Brief;
- Integrated Sustainable Design Standards (ISDS);
- Conceptual Building Elevations and Site Plan;
- Draft Zoning By-law and Schedule;
- Slope Stability Analysis;
- Natural Heritage Evaluation;
- Arborist Report and Tree Protection/Compensation Plan;
- Stage 1 & 2 Archaeological Site Assessment;
- Site Screening Questionnaire (SSQ) or Phase One Environmental Site Assessment;
- Stormwater Management Design Brief/Letter;
- Functional Grading Plan;
- Preliminary Grading, Site Servicing and Drainage Plans
- Site Grading Plan;
- Topographical Survey; and
- Survey



Materials to be Provided in Support of the Consent/Land Division Applications

- Draft Reference Plan (which includes an easement along the southern limits of the property and road widening off the western limits of the property along the Goldenridge Road frontage);
- Restoration Plan; and
- Erosion and Sediment Control Plan.

The following section will summarize the findings of each supporting materials and demonstrate how they support this zoning by-law amendment application.

5.1. Natural Heritage

In accordance with Table 18 of the City of Pickering's Official Plan, the property is located within 120 metres from the following key natural heritage and hydrologic features:

- Significant Woodlands; and
- Natural Hazard Lands containing a Long-Term Stable Top of Slope (LTSTOS) associated with Dunbarton Creek.

To determine if the proposed development will have any impacts on identified key natural heritage and hydrologic features, GeoProcess Research Associates Inc. prepared a Natural Heritage Evaluation (NHE) report dated October 27, 2025. The report was prepared for the following reasons:

- To evaluate existing natural heritage features including Species-at-Risk;
- To assess the extent of the woodlands dripline on the property; and
- To establish a 10-metre buffer from the woodlands dripline limit in accordance with Table 18 of the Pickering Official Plan.

The NHE identified a Study Area (lands that include the property and a 120-metre buffer from it) and confirmed the presence of significant woodlands and LTSTOS on the property. The NHE also identified the woodlands dripline limit plus a 10-metre buffer from this feature as shown on Figure 19 below.



The NHE identified the property contained a mix of planted non-native landscaped tree species that have grown adjacent to the woodland associated with Dunbarton Creek. The findings of the NHE did not indicate the presence of any significant wildlife habitat nor identified any Species-at-Risk within the Study Area. However, the NHE identified 5 different Species-at-Risk that could possibly occur within this area due to its proximity to Dunbarton Creek and/or the presence of the Significant Woodland feature.

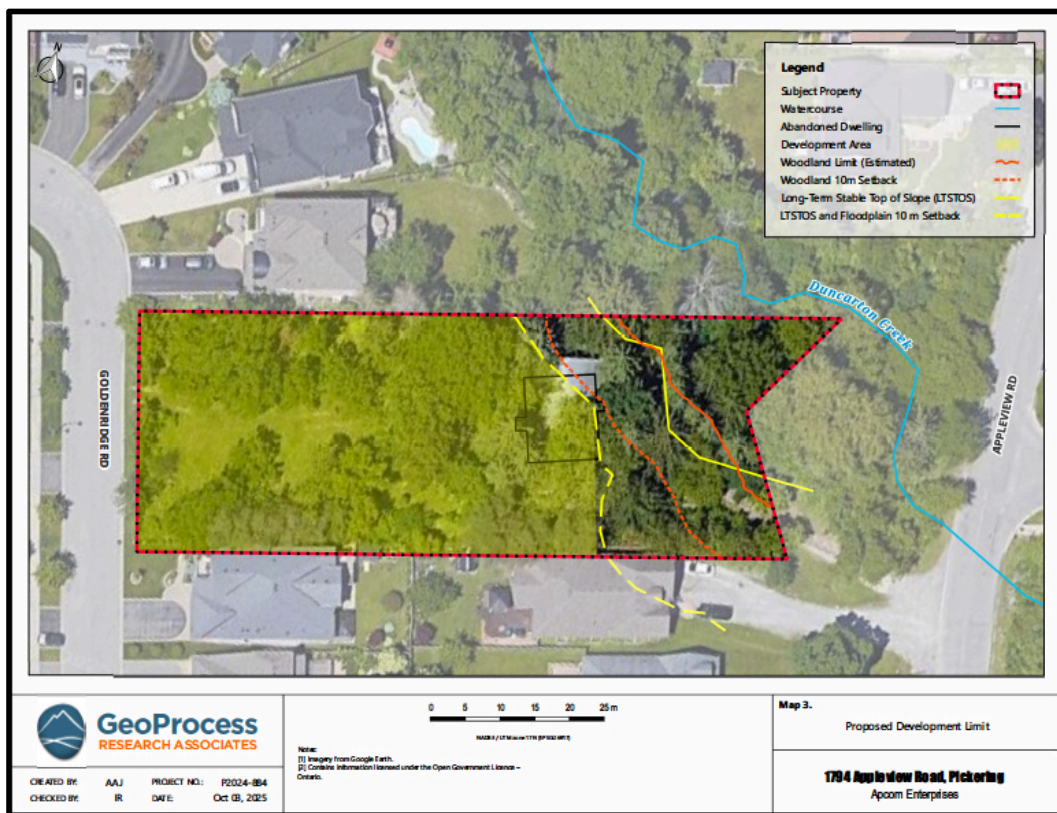


Figure 19: Identified Woodlands Dripline and Buffer Limits

GeoProcess concluded that the proposed development will be located in line with existing dwellings along Goldenridge Road, which will minimize any adverse impacts on the Significant Woodland feature and the Dunbarton Creek provided that appropriate buffers are in place and the consideration of various mitigation measures such as, but not limited to the following:



- The consideration of tree replacement for the removal of existing trees in accordance with the City of Pickering and TRCA's requirements;
- The implementation of tree protection fencing to reduce impacts on remaining trees outside of the development area; and
- The consideration of an erosion and sediment control plan (ESC) as well as monitoring to prevent releases of sediment into the adjacent natural areas.

The above-noted recommendations demonstrate conformity with the City of Pickering and TRCA's natural heritage policy requirements, which would be further addressed either through the consent/land division and/or TRCA permitting stages.

5.2. Tree Inventory and Preservation

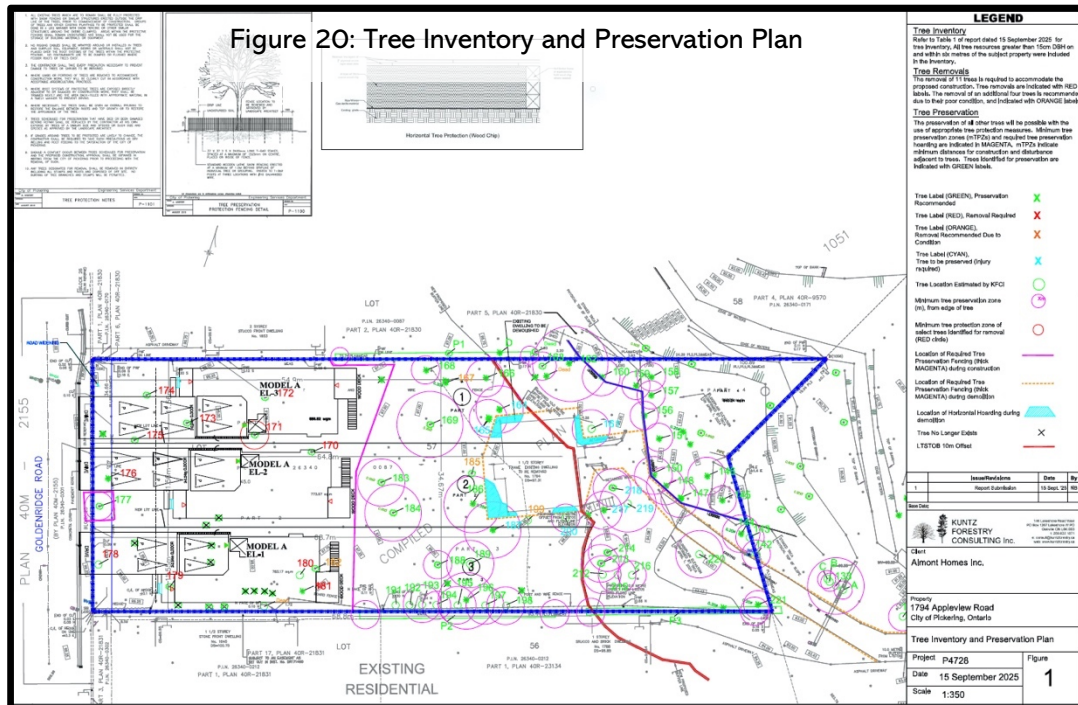
To identify areas to protect existing trees throughout the property, Kuntz Forestry Consulting Inc. prepared a Tree Inventory and Preservation Plan report dated September 15, 2025. The purpose of the report was to:

- Conduct an inventory of tree resources which are a minimum of 15 centimetres in diameter to breast height (DBH) in accordance with the City's Tree Inventory, Preservation, and Removal Compensation Requirements on and within six metres of the property, and trees of all sizes within the road rights-of-way;
- Evaluate potential tree saving opportunities based on the proposed development plans; and
- Document its findings.

On August 1, 2025, Kuntz conducted a tree inventory on the property. A total of 70 trees and three polygons (groups of trees – identified as P1 to P3) were identified on and within six metres of the property (see Figure 20 Tree Inventory and Preservation Plan). Kuntz identified the following:

- That 11 trees (identified as Trees 170 to 176 and 178 to 181) must be removed to accommodate the proposed three dwellings and their associated driveways; and

- That tree protection zones (TPZ) must be established to protect the remaining trees from construction activity; however, encroachment into the TPZ impacting trees adjacent to the existing dwelling is required to accommodate its demolition.



Kuntz recommended various mitigation measures such as, but not limited to construction activity monitoring, tree pruning for roots and/or branches that extend beyond the TPZ and site visits (pre, during and post construction) to minimize any adverse impacts on existing trees. As such, the Tree Inventory and Preservation Plan report and plan demonstrates various appropriate mitigation measures to ensure minimal impacts during the construction period.

5.3. Slope Stability

As noted earlier, TRCA previously conducted a site visit on the property, which consisted of a staking exercise to delineate the physical long term stable top of slope (LTSTOS). Within the northeast boundary of the property,



the TRCA discovered a six-foot vertical drop from the top-of-slope leading into Dunbarton Creek. In addition to delineating the LTSTOS on the property, TRCA required that the LTSTOS be modelled to determine the subsurface conditions of the existing slope and establish a factor of safety (FOS) and safe setback distances for development to occur.

To address TRCA's requirements, Soil Engineers Ltd. conducted a Slope Stability Assessment dated June 11, 2025. The assessment was prepared to delineate the modeled LTSTOS on the property and assess the slope's stability.

Soil Engineers' findings concluded that active erosion was not evident along the creek bank in accordance with the Ministry of Natural Resources (MNR) guideline requirements for active land use. Soil Engineers also recommended that a 10-metre development setback/Erosion Access Allowance beyond the modelled and/or physical LTSTOS will be required in accordance with TRCA and the City of Pickering Official Plan policies. To prevent any disturbance of the existing slope during the construction period of the proposed development, Soil Engineers also recommended a number of geotechnical constraints.

On July 25, 2025, TRCA staff reviewed the Slope Stability Assessment and had no concerns with Soil Engineers' findings and conclusions. A copy of the report and TRCA's comments are provided with this application under separate cover. As such, the Slope Stability Analysis demonstrates that the long-term stable top of slope plus the proposed 10 metre buffer will establish safe development limits from the existing top of slope.

5.4. Stormwater Management Design Brief

To determine and mitigate the impacts of stormwater runoff water quantity and quality across the property, SCS Consulting Group Ltd. (SCS) prepared a Stormwater Management Design Brief dated November 7, 2025. SCS noted that existing stormwater runoff from the property travels easterly from Goldenridge Road into Dunbarton Creek, eventually discharging into Frenchman's Bay.



SCS prepared a preliminary Grading and Drainage Plan, which proposes that the property will accommodate backsplitted grading and drainage towards Goldenridge (on its west side) and Dunbarton Creek (on its east side) in accordance with the City of Pickering's drainage design standards.

SCS recommended that the development incorporate the following stormwater mitigation measures on each residential lot to reduce water quantity and improve water quality leading into Dunbarton Creek:

- Short Term (During Construction Period)
 - Erosion and Sediment Control such as: silt fencing, filter cloths on downstream catchbasins along Goldenridge Road, and street cleaning;
- Long Term/Permanent
 - Low Impact Development (LID) measures such as: infiltration trenches at the rear of each lot as well as downspout and roof leader connections into the infiltration trench; and
 - Backsplitted grading.

As such, the Stormwater Management Design Brief demonstrates that water quantity and quality on each residential lot can be mitigated in accordance with the TRCA & Credit Valley Conservation (CVC) LID Stormwater Management (SWM) Planning and Design Guide and the City's SWM Design Guidelines. Opportunities exist for Pickering and TRCA staff to conduct a detailed review and evaluation of this Stormwater Management Design Brief through the related consent/land division applications required for this development.

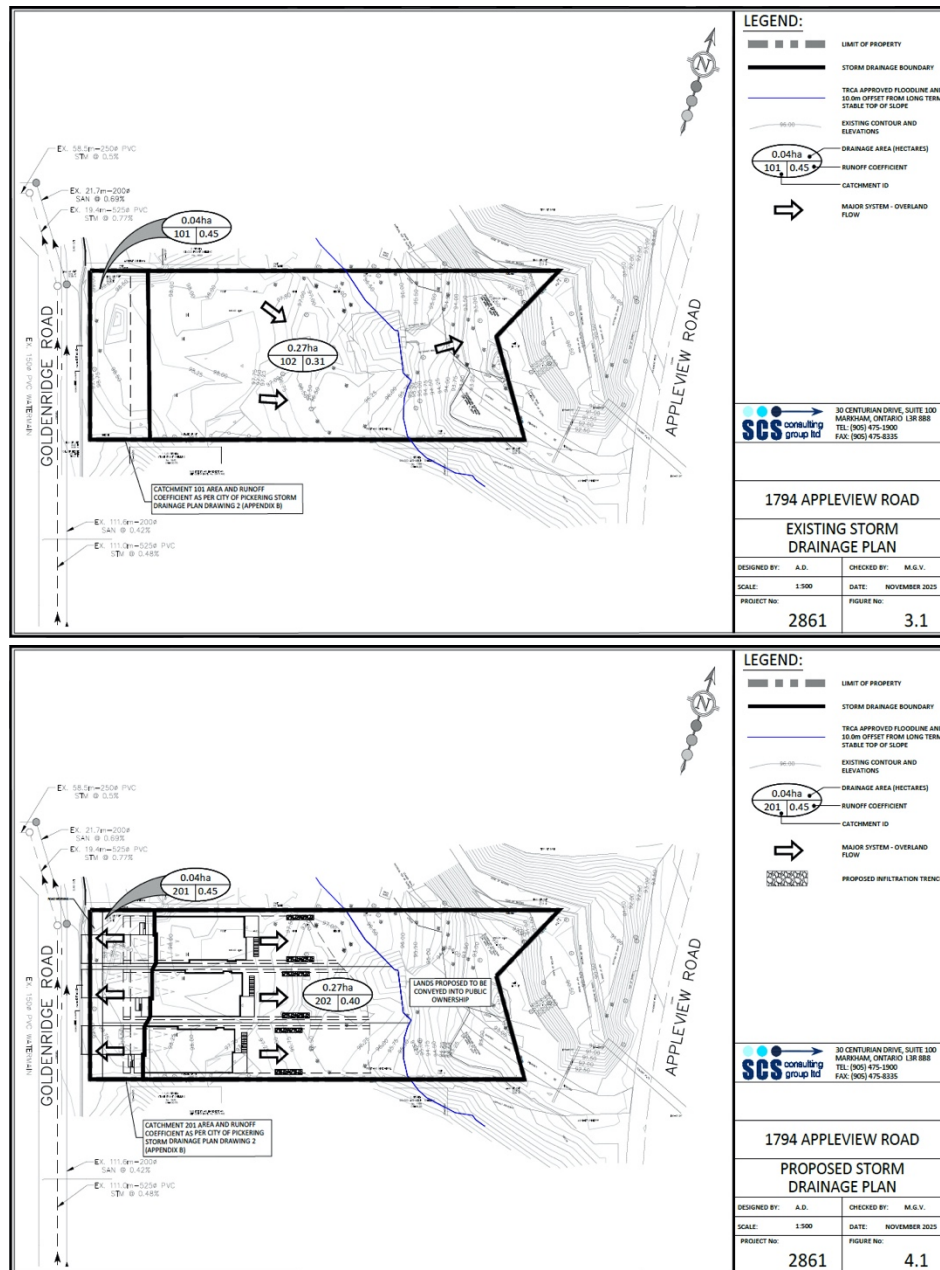


Figure 21 Existing and Proposed Storm and Drainage Plans



5.5. Archaeology

To determine if cultural heritage artifacts exist on the property, Archaeological Consultants Canada (ACC) prepared a Stage 1 & 2 Archaeological Assessment report dated August 29, 2025. ACC declared that all fieldwork and reporting were completed using the Ministry of Citizenship and Multiculturalism (MCM) 2011 *Standards and Guidelines for Consultant Archaeologists*.

The Stage 1 Assessment conducted background research related to the property's geography, history, previous archaeological fieldwork, and current land conditions to determine the potential for finding and identifying archaeological resources requiring a Stage 2 Assessment. The findings of the Stage 1 assessment concluded that a Stage 2 Assessment was required due to the following:

- The property fronts Applevue Road, which is a historic concession road causing the potential for 19th century buildings to be present depending on the level of disturbance;
- The proximity of the property to adjacent water sources (e.g., Dunbarton Creek); and
- The proximity of four registered archaeological sites located within approximately 1 kilometre from the property.

The Stage 2 Assessment consisted of fieldwork, which was conducted on August 11, 2025. According to the fieldwork, approximately 6.5 percent (approximately 0.02 hectares) of the property was previously disturbed as a result of the existing detached dwelling (see Figure 22 on the next page). ACC conducted a test pit excavation by hand throughout the undisturbed portions of the property. All soil was screened for potential historical artifact recovery.

The findings of the Stage 2 Assessment did not recover any historical artifacts or other archaeological resources on the property. As such, ACC concluded that no additional survey work (i.e., a Stage 3 Archaeological Assessment) was required and that the property was fully assessed in



accordance with the Ministry's 2011 *Standards and Guidelines for Consultant Archaeologists* as well as the *Ontario Heritage Act*. The Assessment was also circulated to and accepted by MCM into its Ontario Public Register of Archaeological Reports. A copy of the Ministry's acceptance letter is provided with this development proposal for the City of Pickering's records.

As such, the Archaeological Assessment report prepared for the proposed development demonstrates that to ACC's knowledge and findings, there are no historical artifacts on the property. During construction, if historical artifacts of significance are discovered within the development limits of the property, all construction work will cease, and the Ministry of Citizenship and Multiculturalism (or its successor) will be contacted to determine next steps.



5.6. Site Screening Questionnaire

To determine the subsurface conditions of the property, Soil Engineers Ltd. completed the Region of Durham's Site Screening Questionnaire (SSQ) on July 30, 2025. The SSQ was reviewed and signed by both the Owner and a



Qualified Person in accordance with Ontario Regulation 153/04, as amended.

The results of the SSQ did not identify or suspect any at grade or below soil and/or groundwater contamination on the property that would result in additional exploratory review and/or field testing (i.e., a Phase One and/or Two Environmental Site Assessment respectively).

As such, the SSQ demonstrates that there are no concerns with the current subsurface (soil and/or groundwater) conditions on the property.

5.7. Urban Design Brief

The purpose of this Urban Design Brief is to identify the key design goals and principles for the redevelopment of the property to permit three detached dwellings and provide high-quality housing that is compatible with the surrounding existing neighbourhood character along Goldenridge Road.

The design principles outlined under this subsection focuses on the following:

- Creating a cohesive streetscape;
- Ensuring that the new development provides a sensitive transition to existing adjacent properties; and
- Promoting a positive contribution to the public realm.

The brief details how the proposed lots, as well as the architectural design and landscaping strategy, will result in a development that is both functional and aesthetically pleasing, aligning with the City of Pickering's long-term vision for the Dunbarton Neighbourhood.



Lot Size

Each lot will accommodate a minimum lot frontage and lot depth of 11.5 metres (m) or 37.73 feet (ft) and 52 m (171.78 ft) respectively. In accordance with Pickering Zoning By-law 8149/24 – Exception 135 “S3-7” Zone, adjacent properties fronting Goldenridge Road maintain a minimum lot frontage of 12.0 m (39.37 ft). Even though the proposed lot frontages for this development are slightly less than the abutting zone requirements along Goldenridge Road, the proposed dwellings will maintain a streetscape that is in character with the immediate neighbourhood, as illustrated in Figure 23 below.



Figure 23: Streetscape Frontage Comparison

The proposed dwellings will abut wooded areas in proximity to Dunbarton Creek. As a condition of this development, this development will provide dense



plantings of native trees/shrubs outside of the development limits beyond the rear property lines. This will offer rear yard privacy to new homeowners, as well as support wildlife and shaded areas from the morning sun.

Each lot will accommodate backyards consisting of a minimum depth of 18.7 m (61.42 ft). This will provide a large rear amenity space, which could accommodate decks, gardens, pools and accessory structures/buildings, in accordance with the City of Pickering's zoning by-law provisions established along Goldenridge Road.

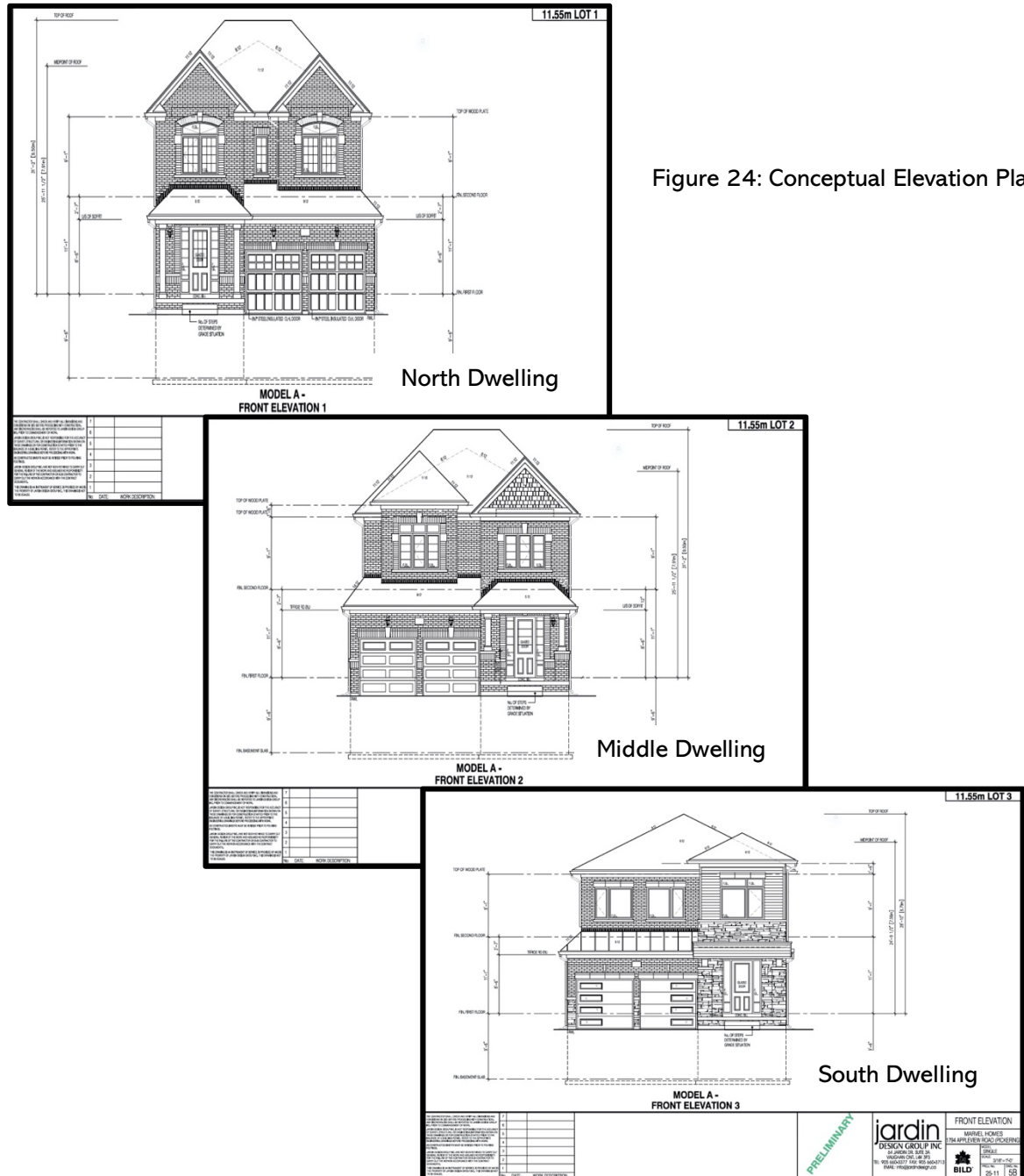
Proposed Dwellings

Each dwelling is identified as Model A with three different elevations. Elevation 1 (Lot 1) is the most northern dwelling, whereas Elevation 3 (Lot 3) is the most southern dwelling.

Each dwelling proposes the following characteristics:

- Maximum width of 9.65 m (31.66 ft) with the attached garage;
- Maximum width of 9.04 m (29.66 ft) excluding the attached garage;
- Depths of 19.91 m (65.32 ft) without the front porch;
- Depths of 21.74 m (71.33 ft) with the front porch;
- Maximum building height of 7.91 m (25.96 ft) to the roof midpoint;
- Maximum building height of 9.5 m (31.17 ft) to the top of the roof;
- Roof pitches between 6:12 to 11:12 slopes; and
- Gross floor area of 312.25 square metres (m²) or 3,361 square feet (ft²).

To ensure the proposed dwellings do not either significantly extend in front of or recess behind the front walls of the abutting dwellings to the south and north (1645 and 1653 Goldenridge Road), each new dwelling will be staggered and setback between 6.84 m (22.44 ft) to 9.35 m (30.68 ft) from Goldenridge Road from south to north. The building height on Lot 3 is slightly shorter than the other two buildings at 7.56 metres to the roof midpoint. This is intended to accommodate an appropriate height transition with the south adjacent one-and-a-half storey dwelling at 1645 Goldenridge Road.





Attached Garage Spaces and Parking

Each dwelling will accommodate a two-car garage with minimum widths of 5.7 m (18.7 ft), depths between 5.61 m (18.42 ft) and 6.83 m (22.42 ft) and a minimum vertical clearance of 2.6 m (8.53 ft).

To reduce the need for on-street parking, Elevation 3 will accommodate two parking spaces outside of the garage, whereas Elevations 1 and 2 can accommodate up to four parking spaces outside of the garage with minimum dimensions of 2.89 m (9.46 ft) in width and 5.3 m in depth. These dimensions are in accordance with Section 5.6 of City of Pickering Zoning By-law 8149/24. Each lot will also accommodate a paved driveway not exceeding 50% of the property's frontage. Curb cuts will be restricted to the proposed width of the driveway entrance for each lot.

If visitor on-street parking along Goldenridge Road is required, Lots 1 and 2 will be paired to provide a parking space between Lots 2 and 3 as well as a parking space between Lot 1 and 1653 Goldenridge Road and between Lot 3 and 1645 Goldenridge Road. Driveways will not be paired beside abutting existing dwellings.

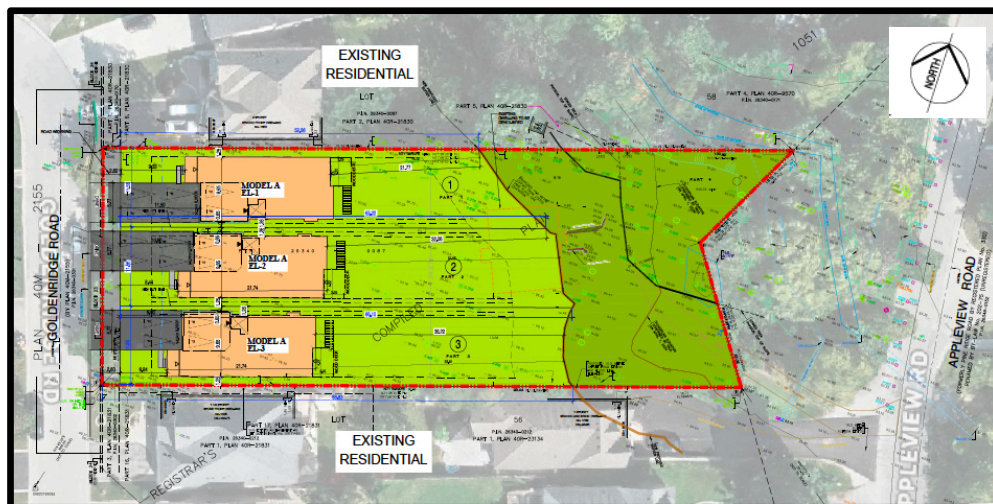


Figure 25: Proposed Development Site Plan



Elevations

Each dwelling will accommodate a covered porch that extends approximately 2.16 m (7.09 ft) beyond the garage, which reduces the prominence of the garage on the streetscape. Each covered porch projects 1.83 m (6 feet) from the main dwelling and accommodates a minimum width of 3.91 m (12.83 ft) with a covered area of 7.15 m² (77 ft²). The covered porch will create a conversation amenity space for visitors and allow future homeowners to view Goldenridge Road unobstructed, providing “eyes on the street.”

Each dwelling's front entrance is west-facing and could accommodate a maximum of four risers into the dwelling (as determined by the final established grade) to minimize the overall height of each dwelling. Due to the reduced slopes in the proposed rear (east side) of the new lots, the rear elevation for each dwelling would accommodate a raised rear deck.

Side elevations for each dwelling will maintain minimum side yard setbacks of 1.2 metres (3.93 ft), which will permit some windows (unprotected openings) in accordance with the Ontario Building Code requirements to allow sunlight and air flow. However, sides that contain the attached dwelling and fireplace will accommodate minimum side yard setbacks of 0.6 m (1.97 ft). For each dwelling, the attached garage and fireplace will be located on the same side of the building.

Landscaping

Each lot will accommodate a minimum landscaped amenity area (e.g., grassed area as well as rear deck and steps) between 60 to 68%. Each lot will also accommodate at least 50% of its frontage unpaved. This will ensure that a large grass area to accommodate trees, infiltration, flower gardens and provide an outdoor amenity area for each lot as well as reduce the prominence of the driveway. Increased front yard landscaping could improve stormwater drainage and curb appeal for new homeowners.

This Urban Design Brief demonstrates that the proposed residential development is a well-considered and appropriate form of infill within the



Dunbarton Neighbourhood. The design principles outlined herein focusing on cohesive streetscape integration, sensitive massing, and high-quality material selection will be incorporated to this development. The result is a project that will provide three new detached dwellings that will positively contribute to the neighbourhood's character, public realm and the environment.

The proposal successfully aligns with the objectives of the City of Pickering's Official Plan, the Dunbarton Neighbourhood Development and Design Guidelines as well as Zoning By-law 8149/24 – Exception 135, "S3-7" zone, which is currently established for the adjacent and surrounding dwellings along Goldenridge Road. As such, the development represents a thoughtful and valuable addition to the community.

5.8. Sustainability Brief

The City of Pickering has created Integrated Sustainable Design Standards (ISDS) for all new Draft Plans of Subdivision and Site Plan applications submitted as of January 1, 2023, to consider improving the City's long-term social, environmental, economic and cultural health of the community.

As part of the City's pre-consultation list of submitted materials, City staff requested that the ISDS be completed to assist the City in implementing and achieving its sustainable community vision. Even though the ISDS is not mandatory for development proposals containing less than five dwelling units and creating new lots through Consent/Land Division, our Client has volunteered to prepare the ISDS to highlight the project's sustainable performance measures. Many of these performance measures will be implemented either through conditions of draft approval or during the building permit stage.

Environmental Protection

As a condition of consent, areas identified as natural heritage and natural hazard areas on the east side of the property will be transferred into public ownership for its long-term protection. The development proposes to restore these areas by including dense plantings of native trees/shrubs and



appropriate seed mix on the transferred lands in proximity to the rear yards of each dwelling. Restoration efforts will be done in consultation with the City of Pickering and the Toronto and Region Conservation Authority (TRCA).

In accordance with the City of Pickering's Tree Inventory, Preservation and Removal Compensation Requirements, existing live trees with a minimum caliper of 15 centimetres (cm) in diameter at breast height (DBH) will be compensated through replacement plantings on-site or cash-in-lieu to the City to provide funding for tree planting elsewhere within the City. If spacing allows, this development also commits to providing one boulevard tree for each lot.

Stormwater Management

To lessen the impact of stormwater on the property, the proposed development commits to incorporating grass swales and trees. As identified under Section 5.4 above, each residential lot will also accommodate a variety of Low Impact Development measures for water quantity and quality control such as, but not limited to:

- Erosion and Sediment Control;
- Infiltration Trenches and downspout roof leader connections; and
- Backsplit grading and drainage.

These LID measures will be reviewed and evaluated in accordance with TRCA & Credit Valley Conservation (CVC) LID Stormwater Management (SWM) Planning and Design Guide and the City's SWM Design Guidelines through the consent/land division stage.

The development commits to providing the City with a 1.2 metre easement on the southern limits of the property from Goldenridge Road to an existing rear lot catch basin at 1645 Applevue Road to assist in storm drainage for the immediate area.

Based on our review of the City's Integrated Sustainable Design Standards, the proposed development includes various sustainable attributes that will contribute to the City's achieving its overall sustainability goals and objectives.



6. Conclusion

The proposed development intends to create three residential lots, each accommodating a detached dwelling with frontages off Goldenridge Road.

As described above, supporting land use policies such as the 2024 Provincial Planning Statement, the Durham Regional Official Plan and the City of Pickering Official Plan permits residential intensification in an urban low density residential neighbourhood, provided that the development has regards for the Dunbarton Neighbourhood Development Design Guidelines.

Based on our review of Dunbarton Neighbourhood and its related Development and Design Guidelines, the proposed conceptual elevation designs demonstrate that three dwellings can be appropriately sited along Goldenridge Road and be in character with the immediate neighbourhood. The amending draft zoning by-law reflects this design.

The proposed development has also demonstrated that it can maintain appropriate setbacks and buffers from existing natural heritage (woodlands) and natural hazard (long term stable top of slope and floodplain) features. Based on our findings, natural hazards are the most extensive features on the property. If Pickering Council approves this rezoning application, the Owner agrees to transfer all lands outside of the development limits that are not suitable for development to public ownership as a condition of the consent/land division applications based on requests made by Toronto and Region Conservation Authority and City of Pickering staff.

Additional supporting technical studies and plans have also been prepared to demonstrate that the proposed development will not have any adverse impacts on soil and groundwater quality and archaeological resources. Stormwater runoff throughout the property will be graded and designed to ensure water quantity and quality are appropriately distributed across the subject property into storm sewers and/or Dunbarton Creek through backsplitted grading and infiltration trenches.



Based on our review of the above, PPOM recommends that the proposed development is appropriate within the City of Pickering's Dunbarton Neighbourhood and that it represents good planning principles in accordance with the applicable land use policies and plans.

Sincerely,

Ashley Yearwood, RPP, MCIP
Principal
Planning Peace of Mind Services Incorporated



Appendix A – Draft Zoning By-law Amendment



By-law No. XXXX/2X

By-law will be in effect upon the end of the appeal period process.

By-law passed on XXXXXXXX XX, 202X

Deadline for appeals XXXXXXXX XX, 202X

By-law in full force and effect upon issuance of the affidavit provided no appeals have been received.



The Corporation of the City of Pickering

By-law No. XXXX/2X

Being a By-law to amend City Consolidated Zoning By-law 8149/24, to implement the Official Plan of the City of Pickering, Region of Durham, for lands at Part of Lot 26, Concession 1, Lot 57, Registrar's Compiled Plan 1051, City of Pickering (A XX/25).

Whereas the Council of The Corporation of the City of Pickering deems it desirable to amend the zoning of the lands being Part of Lot 26, Concession 1 to "Xxxx (R1H)" – Residential First Density Exception Zone Xxxx and "EP" – Environmental Protection Zone in the City of Pickering to permit three lots for detached dwellings and an Environmental Protection Block;

And whereas an amendment to Zoning By-law 8149/24, as amended is therefore deemed necessary;

Now therefore the Council of the Corporation of the City of Pickering hereby enacts as follows:

1. Schedule I

Schedule I of By-law 8149/24, as amended, is hereby further amended by rezoning a portion of the lands from "R1D" – Residential First Density Zone to "Xxxx (R1H)" – Residential First Density Exception Zone, on lands legally described as Part of Lot 26, Concession 1, Lot 57, Registrar's Compiled Plan 1051, Parts X to X, Plan 40R-3XXXX.

Schedule I of By-law 8149/24, as amended, is hereby further amended by rezoning a portion of the lands from "R1D" – Residential First Density Zone to "EP" – Environmental Protection Zone on lands legally described as Part of Lot 26, Concession 1, Lot 57, Registrar's Compiled Plan 1051, Part X, Plan 40R-3XXXX.

2. Area Restricted

The provision of this By-law shall apply to those lands legally described as being Part of Lot 26, Concession 1, Lot 57, Registrar's Compiled Plan 1051, Parts X to X, Plan 40R-3XXXX in the City of Pickering, zoned "Xxxx (R1H)" and "EP" on Schedule I attached hereto.



3. Text Amendment

Section 15, Exceptions, of By-law 8149/24, as amended, is hereby further amended by adding a new Exception Zone Xxxx as follows:

Exception Zone XXX (By-law XXXX/XX)

a. Zone Regulations [“Xxxx (R1H)” Zone]

Notwithstanding Section 6.2.2, Table 6.5, related to Lot and Building Requirements for Residential First Density Zones (R1F to R1I), no person shall, within the lands zoned “Xxxx (R1H)”, use any lot, or erect, alter, or use any building or structure except in accordance with the following:

i. Lot Frontage

A. Minimum - 11.5 metres

ii. Interior Side Yard

A. Minimum - 1.2 metres on one side, 0.6 metres on the other side

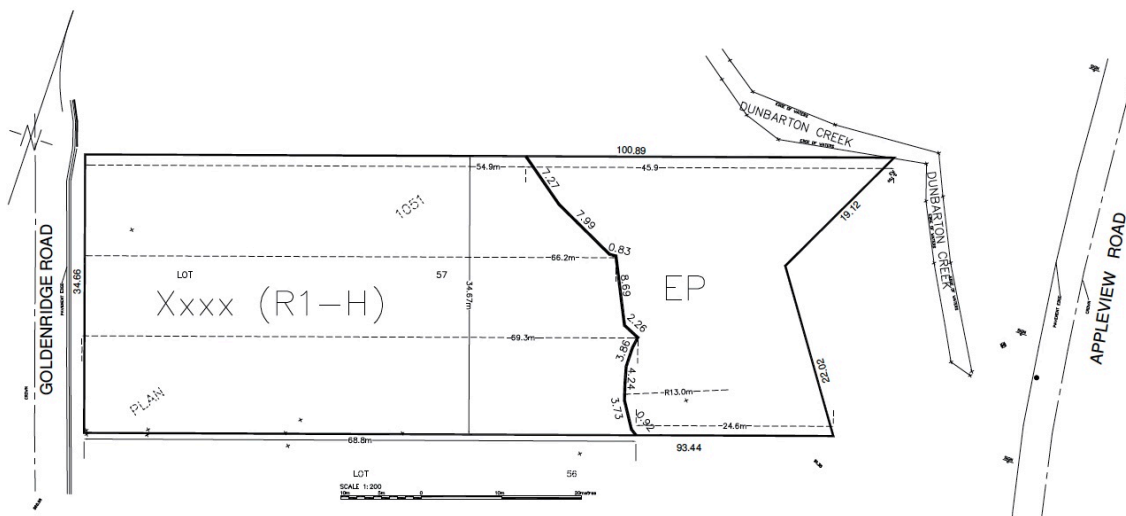
4. By-law 8149/24

By-law 8149/24, as amended, is hereby further amended only to the extent necessary to give effect to the provisions of this By-law as it applies to the area set out in Schedule I attached hereto. Definitions and subject matters not specifically dealt with in this By-law shall be governed by the relevant provisions of By-law 8149/24.

5. Effective Date

This By-law shall come into force in accordance with the provisions of the *Planning Act*.

By-law passed this XX^{xx} day of XXXXXXXXXX, 202X



Schedule I to By-law XXXX/XX

Passed This XX^{XX}

Day of XXXXXXXXXXXX, 202X

XXXXXXXXXXXXXXXXXXXX

Mayor

XXXXXXXXXXXXXXXXXXXX

Clerk



Explanation of Purpose and Effect of Zoning By-law No. XXXX/2X

Zoning By-law XXXX/2X rezones lands at 1794 Appleview Road in the City of Pickering, to permit three residential lots each to accommodate a detached dwelling and an environmental protection block intended to be conveyed into public ownership.